

RECEIVED
 DEC 16 2019
 CITY OF DUVALL

RECREATIONAL USE AGREEMENT

This Recreational Use Agreement (“Agreement”) is entered into this 6th day of December 2019, by and between PUGET SOUND ENERGY, INC., a Washington corporation (“PSE”), and CITY OF DUVALL, a municipal corporation of the State of Washington (“City of Duvall”). PSE and City of Duvall are collectively referred to in this Agreement as the “Parties” and individually as a “Party.”

RECITALS

A. PSE is the fee owner of a utility corridor in City of Duvall which is described on Exhibit A to this Agreement and referred to herein as “the Property”;

B. The primary purpose of the Property is for the transmission and distribution of electric power, gas, and other utility systems, and the Property will continue to be used for such purposes for the foreseeable future;

C. City of Duvall desires PSE’s permission to use portions of the Property for the construction, operation, and maintenance of public recreational trails;

D. PSE is willing to grant City of Duvall permission to use portions of the Property for recreational trail purposes, subject to certain conditions and provided that such use does not interfere with PSE’s use of the Property;

NOW, THEREFORE, for and in consideration of the mutual promises and covenants set forth herein, the sufficiency of which is hereby acknowledged by both Parties, the Parties agree as follows:

1. Permitted Use.

1.1 Grant. PSE hereby grants and conveys to City of Duvall a non-exclusive license over the Property for purposes of operating and maintaining a thirty foot (30’) wide Recreational Trail.

1.2 Permitted Use. PSE’s permission is granted upon the condition that City of Duvall will use the Property solely for the construction, operation, and maintenance of a Recreational Trail for use by members of the general public free of charge, and for no other purpose whatsoever. “Recreational Trail(s)” means unimproved or improved pathways on portions of the Property made available for use by pedestrians, bicycles, and other modes of travel permitted on regional trails by section 7.12.295 of the King County Code.

1.3 Non-exclusive Use. City of Duvall’s right to use the Property pursuant to this agreement is non-exclusive. PSE reserves the right to permit other entities or individuals to use any or all portions of the Property. PSE shall inform City of Duvall of

proposed or pending uses of the Property that may affect the operation of the Recreational Trail. Notwithstanding the foregoing, PSE shall have no obligation to notify City of Duvall about PSE's or its permittees' routine or emergency maintenance activities on the Property.

1.4 Use by Motorized Vehicles. Motorized vehicles necessary for the construction, maintenance, operation, inspection, rehabilitation or repair of Recreational Trail facilities, and for providing police, security, fire and emergency services, are permitted on the Property.

1.5 No Interference. City of Duvall's use of the Property for a Recreational Trail shall not interfere with PSE's present or future use of the Property, or any adjoining PSE properties, for electricity, utility or any other purpose, including the sale of any portion of the Property or any adjoining PSE properties. If such interference occurs, as determined in the discretion of PSE, City of Duvall will reduce or eliminate the interference at its sole cost and expense within thirty (30) days after written notice from PSE.

2. Effective Date; Term; Extensions.

2.1 Effective Date. This Agreement will be effective on the date when signed by an authorized representative of each Party following authorization by the Mayor of the City of Duvall ("Effective Date").

2.2 Term. The term of this Agreement will be twenty (20) years from the Effective Date, unless extended or terminated earlier by either Party pursuant to the terms herein.

2.3 Extensions. It is understood and agreed that at least one year prior to the expiration date of this Agreement and one year prior to the expiration of any subsequent term, City of Duvall will request a review by PSE of the uses afforded City of Duvall under this agreement. PSE may grant City of Duvall use of the Property for Recreational Trail purposes for an additional term via an Amendment to this Agreement.

3. Construction of Recreational Trails.

3.1 General Obligation Regarding Construction. City of Duvall will be solely responsible for the construction of the Recreational Trail or trail related improvements on the Property, however, City of Duvall will work closely with PSE to make sure any new construction or improvements are completed in compliance with PSE needs, preferences, internal standards and operational requirements. City of Duvall will not install pavement, gravel, landscaping, buildings or structures of any kind in or on the Property without prior written consent from PSE, which may be conditioned in PSE's sole discretion and will be subject to the requirements stated below.

3.2 Plan Review and Approval. City of Duvall will not request construction bids or undertake any construction or installation of trail-related improvements upon the Property until PSE approves in writing all plans and specifications, including landscaping elements. City of Duvall will submit plans and specifications at 30%, 90% and 100%

design in the development process, and more often if City of Duvall chooses to do so. PSE will have thirty (30) days to review submitted plans and specifications and submit comments or request additional information, which City of Duvall will provide in a timely manner.

3.3 Minimum Plan Requirements. At a minimum, the plans and specifications will specifically address the management of construction impacts on site, including but not limited to stockpiling of materials and equipment storage, erosion and sediment control, disposition of dewatering and wastewater discharges, safety barriers, temporary access detours and/or closures, signage, and similar matters. The plans and specifications will also specifically address the protection of PSE utility systems and other facilities, both from construction impacts as well as any permanent loadings deriving from any constructed Recreational Trail.

3.4 Construction. City of Duvall, its agents, and contractors, will perform all work on the Property in accordance with plans and specifications approved by PSE. City of Duvall will install barriers, signage and/or other appropriate devices or infrastructure to prohibit the public from entering the Property at Recreational Trail areas where construction or improvements have occurred until after PSE inspects the Recreational Trail for the sole purpose of determining whether construction conforms to the plans, specifications, and PSE preferences, needs, internal standards and operational requirements. City of Duvall will give PSE reasonable prior notice of all pre-construction and construction meetings and of the commencement of construction, so that PSE has the option of attending such meetings and inspecting the Property during construction. During construction, City of Duvall will submit any change orders that substantively address design or operational modifications to PSE for its review and approval prior to any work on such change orders proceeding. PSE will have 30 working days to either respond with comments, or if the issue requires coordination, to request additional time to review the impacts of the proposed change order. PSE will make reasonable efforts to perform timely review and coordination in order to minimize construction delays. City of Duvall and its contractors will abide by state, federal and local laws regarding work, construction, and structures in proximity to utility systems and will request and pay for safety watch(es) when required by applicable laws or by PSE. City of Duvall will complete all work within the Property in a neat and efficient manner. City of Duvall will remove all debris and restore all portions of the Property affected by construction activities to their preconstruction condition, if possible, or to a reasonably similar condition. City of Duvall agrees to provide as-built plans of any Recreational Trail to PSE as soon as possible after Trail completion.

3.5 Public Notice. City of Duvall will be solely responsible for ensuring that the adjacent property owners are appropriately notified about the City's planned construction activities. City of Duvall will be the primary point of contact for the public for all trail-related construction; however, City of Duvall will provide PSE advance notice of all public communications involving the Property and will provide PSE the opportunity to review and comment about written public notices and to participate in public meetings at PSE's discretion.

3.6 Construction Costs. City of Duvall will construct the Recreational Trail and all trail-related improvements at its sole cost and expense.

3.7 Compliance with Law. City of Duvall will complete all construction in compliance with all applicable federal, state, and local laws and regulations. PSE will not assume responsibility for or control over the working conditions and safety practices of employees, contractors, or subcontractors hired by City of Duvall to perform any work on the Property, and nothing in this Agreement, including PSE's plan review and approval, will be construed to place a duty, express or implied, on PSE to control or be responsible for such activities of City of Duvall. City of Duvall further acknowledges and agrees that PSE's reviews and/or inspections of plans and construction of the Recreational Trails is for PSE's internal requirements and purposes only, and will not be construed as any type of certification, warranty or other approval with respect to City of Duvall's compliance with any and all applicable federal, state and local laws, ordinances and building codes.

4. Recreational Trail Operation and Maintenance.

4.1 Maintenance. City of Duvall will operate and maintain the Recreational Trail at its sole cost and expense. In addition to maintaining the Recreational Trail and all trail-related improvements, City of Duvall shall be responsible for managing the growth of all vegetation within the Recreational Trail footprint. Notwithstanding the foregoing, PSE is not obligated to perform vegetation management above what would have been required prior to the existence of the Recreational Trail. Should additional vegetation management be desired, the City of Duvall may perform the maintenance after obtaining consent from PSE, which shall not be unreasonably withheld. In instances where the Recreational Trail was utilized by the public for accessing PSE property outside of the trail width to dump trash and debris, the City of Duvall shall remove any such materials at its own expense. City of Duvall will be the initial point of contact for public maintenance requests and complaints associated with the Recreational Trail, and will provide PSE a contact for referring trail-related maintenance requests and complaints as appropriate.

4.2 Use Restrictions.

a. City of Duvall's use of the Property will be restricted to pedestrian, equestrian, and bicycle use. Camping, campfires, the discharge of firearms, and any other activities that would be inconsistent with PSE's use of the Property or the safe use of the Property by the public are strictly prohibited.

b. City of Duvall shall promulgate and post reasonable rules pertaining to use of the Recreational Trail. City of Duvall is solely responsible for maintaining public compliance with said rules, the use restrictions set forth in this Section 4.2 and such further restrictions as may subsequently be agreed to by PSE and City of Duvall, from time to time.

4.3 Surface Water Management. City of Duvall will take all steps necessary to minimize erosion from surface water resulting from the Recreational Trail. If in the reasonable opinion of PSE, such erosion affects the earth cover within the Property and

appurtenant facilities, PSE may close, or instruct City of Duvall to close, the affected areas of the Recreational Trail until, in the reasonable opinion of PSE, the cause and effect of the erosion have been remedied by City of Duvall.

4.4 Surface Water Management Fees. City of Duvall shall be responsible, at its sole cost and expense, for all surface water management fees related to the construction, operation and maintenance of any trail-related improvements.

4.5 Signage. City of Duvall will install trail signage at the Property as follows:

a. Routine trail signage includes City of Duvall Trail Signs and Wayfinding Signs and will be substantially similar to the examples attached hereto as Exhibit C (to be determined in design phase).

b. City of Duvall trail rules signage will contain a working City of Duvall telephone contact number to report trail questions, complaints, and maintenance issues. If the contact number changes, City of Duvall will replace signage with the new contact telephone number within 30 days of the change of contact.

c. If requested by PSE, City of Duvall will install PSE-approved signage during Trail closures and such signage shall be substantially in the form attached hereto as Exhibit D (to be determined in design phase).

d. No signs will be posted until approved by PSE.

e. City of Duvall will pay for any additional signs PSE deems necessary to adequately identify trail areas or to warn Recreational Trail users away from utility facilities.

f. At its sole cost and expense, City of Duvall will maintain all signs in reasonably good condition and at a minimum will ensure that the signs are accurate and legible.

4.6 PSE Access. PSE will at all times have free access to the Property. Prior to installing such items as barriers, gates or bollards (as approved by PSE), City of Duvall will provide PSE the ability to have its own padlock or other locking devices on such structures.

4.7 Temporary Trail Closures. City of Duvall understands that PSE's operation, repair, maintenance, inspection, and construction of its utility systems, as well as field training, acts of nature, and other activities, may, on occasion, require the temporary closure of Recreational Trail areas. PSE shall use commercially reasonable efforts to minimize the length of time of any closure and to provide notice to City of Duvall of impending closures. PSE will install gates, barriers, or other signage in the case of PSE required temporary closures. City of Duvall will obtain PSE approval for temporary trail

closures the County deems necessary for maintenance or other purposes. City of Duvall will be responsible for installing its own closure devices in the case of City of Duvall required trail closures.

4.6 Damage to Trails or Facilities. PSE will continue to use the Property for utility purposes, including use by heavy trucks and machinery for utility construction, installation, operation, and maintenance. PSE shall not be liable for damage to Recreational Trail improvements, appurtenances, or landscaping constructed or placed in, under, across, or upon the Property. In the event of PSE damage to trail improvements, PSE will backfill any trenches or excavations, but will not repair damaged improvements. PSE will notify City of Duvall if it damages trail improvements. This paragraph does not limit City of Duvall's ability to seek damages from other users of the Property, including PSE's licensees or permittees.

4.7 Construction or Repair of Utility System Facilities. PSE will notify City of Duvall if there are plans to construct new utility system facilities on portions of the Property in use as a Recreational Trail and will use commercially reasonable efforts to design facilities that accommodate the existing Recreational Trail without relocation; provided that PSE will not be required to compromise cost effectiveness, reliability, capacity, safety, other utility system requirements or any other requirements deemed necessary for its projected needs. City of Duvall will reimburse PSE for costs and expenses PSE incurs as a result of accommodating an existing or contemplated Recreational Trail. These costs and expenses may include, but are not limited to increased costs for design, construction, maintenance and operation incurred in order to accommodate a trail or a trail-related mitigation.

5. Relocation, Removal, or Termination of a Trail.

If PSE determines that any portion of the Recreational Trail must be removed and relocated or terminated, PSE will send written notice to City of Duvall. After receipt of written notice from PSE, City of Duvall will immediately notify the public of the impending trail relocation or closure. City of Duvall will have 180 calendar days or fewer, if PSE determines it is necessary, to relocate or close the affected portion of the Property for public use. City of Duvall will coordinate with PSE about appropriate closure activities, which may include placement of fences or barricades, installation of trail closure/detour signage, removal of trail improvements, or other actions. City of Duvall will pay all costs and expenses associated with the relocation, termination, or removal of the Recreational Trail from any portion of the Property. If City of Duvall fails to take steps to close the Recreational Trail within 180 calendar days of receipt of PSE's notice, or sooner as determined by PSE, PSE may take any necessary steps to close, remove, relocate or terminate any Recreational Trail at the expense of City of Duvall. City of Duvall's obligation to pay all trail closure costs shall survive termination of this agreement.

6. Early Termination of Agreement.

In addition to termination for default under Section 7, either Party may terminate this Agreement under the following circumstances.

6.1 City of Duvall Termination Right. City of Duvall may terminate this Agreement upon six (6) months written notice to PSE. Upon such notification, City of Duvall will immediately take steps to advise the public of the impending closure of the Recreational Trail. City of Duvall will coordinate with PSE about appropriate trail closure activities, which may include placement of fences or barricades, installation of trail closure/detour signage, removal of trail improvements, or other actions, and shall restore the Property as set forth in Section 8 below.

6.2 PSE Termination Right. PSE may terminate this Agreement upon six (6) month written notice to City of Duvall. City of Duvall will coordinate with PSE about appropriate trail closure activities, which may include placement of fences or barricades, installation of trail closure/detour signage, removal of trail improvements, or other actions, and shall restore the Property as set forth in Section 8 below.

7. Default.

“Default” means the failure of either Party to perform any obligation or to comply with any term under this Agreement, and to fail to cure such non-performance or failure to comply within thirty (30) days after written notice from the other Party. However, a Party will not be in Default if the failure to perform or comply is such that it cannot reasonably be cured within thirty (30) days and the Party commences a cure within thirty days after notice and diligently pursues the cure to completion. If either PSE or City of Duvall disagree regarding whether non-performance or non-compliance has occurred, or if the Parties cannot agree on a cure or a reasonable time frame for implementing the cure, prior to terminating this Agreement, the disagreement will first be referred to the PSE Director of Real Estate and the Public Works Director of City of Duvall Department for a negotiated resolution. If the PSE Director of Real Estate and City of Duvall cannot reach resolution, the Party claiming the other Party is in Default may choose to immediately terminate the Agreement and pursue any remedies allowable at law or equity. Additionally, upon termination of this Agreement as set forth in this section, City of Duvall shall restore the Property as required under Section 9; otherwise, PSE will be entitled to perform any work required to remove and close the Recreational Trail, and PSE’s costs will be paid by City of Duvall within 30 days of receipt of an invoice from PSE. PSE’s failure to exercise such right at any time will not waive its right to terminate for any future breach or default or to exercise any available self-help remedy.

8. Restoration of Property upon Termination.

Upon the termination or expiration of this Agreement or termination of the use of any portion of the Property for Recreational Trail purposes, City of Duvall will remove all

Recreational Trail related improvements, including but not limited to signs, structures, paving and City of Duvall property in the portion terminated, unless otherwise directed by PSE, and will coordinate such activities with PSE. If City of Duvall fails to perform these obligations within 180 days of the receipt of PSE's notice to terminate the Agreement, PSE may perform them, and City of Duvall will reimburse PSE's actual costs incurred in performing these obligations within 30 days of receipt of invoice(s) from PSE. City of Duvall's obligations under this paragraph will survive the termination of this Agreement.

9. **Compliance with Law.**

At all times, City of Duvall's use and operation of the Property will comply with all applicable federal, state, and local laws, ordinances, codes, rules and regulations, including but not limited to Health and Safety Law and Environmental Laws.

As used in this Agreement, "Health and Safety Law" means any applicable requirement of the Hazardous Waste Operations and Emergency Response (Hazwopper) Program, and any other applicable requirements under federal, state and local environment, health and safety laws, and regulations or ordinances.

"Environmental Laws" means any and all federal, state, or local statutes, codes, regulations, orders, and requirements issued thereunder, and common-law causes of action, whether federal, state or local, that apply to any toxic material or hazardous substance, pollutant, waste material, health and safety of persons or protection of the environment, including any amendments or supplements to such laws or regulations, including, but not limited to: the Resource Conservation and Recovery Act, 42 U.S.C. § 6901 et seq., the Toxic Substances Control Act, 15 U.S.C. §2601 et seq., the Federal Water Pollution Control Act, 49 U.S.C. § 1801 et seq., the Safe Drinking Water Act, 42 U.S.C. § 300f et seq., the Comprehensive Environmental Response Compensation and Liability Act ("CERCLA") 42 U.S.C. § 9601 et seq., the Washington Model Toxics Control Act (MTCA), RCW Ch. 70.105D, the Washington Hazardous Waste Management Act, RCW Ch. 70.105, the Washington King County Management Act, RCW Ch. 90.58, and all local environmental codes and regulations including without limitation, stormwater, drainage and wastewater, and sewer regulations and requirements.

10. **Prohibited Substances.**

10.1 **No Prohibited Substances without PSE Approval.** City of Duvall understands and agrees that any hazardous, dangerous or toxic material, waste or substance, or other pollutant or contaminant, regulated under federal, state or local law, as hereafter amended or supplemented ("Prohibited Substances"), are not allowed in or around the Property without the express written permission of PSE.

10.2 **Prior Approval.** City of Duvall will obtain PSE's approval prior to initiating any activities requiring the use, handling or storage of Prohibited Substances on the Property or adjacent to any other PSE facilities. PSE may consider approving the specific use or activity, but only after City of Duvall demonstrates to the satisfaction of PSE that

City of Duvall has all necessary permits, if any, for operation and a Prohibited Substances emergency response plan. City of Duvall will be solely responsible for the use, handling and storage of any Prohibited Substance in compliance with all applicable law, and PSE's approval of such use, handling or storage will not be construed as limiting City of Duvall's liability for a release of a Prohibited Substance, or as creating liability on the part of PSE.

10.3 Environmental Audits. City of Duvall agrees to cooperate in any environmental audits conducted by PSE's staff or independent third parties specifically related to City of Duvall's use or storage of Prohibited Substances. City of Duvall agrees to reimburse PSE for the cost of such audits. City of Duvall agrees to provide PSE with notice of every governmental inspection of the Property, notice of violation, and order to clean up contamination, upon receipt thereof by City of Duvall. City of Duvall agrees to permit PSE to participate in all settlement or abatement discussions. In the event City of Duvall fails to take remedial measures, as required by any final administrative or judicial order, decrees, or other legal instrument signed by a state, federal, or local regulatory agency within 90 days of such order, decree or instrument, PSE may elect to perform such work, and City of Duvall covenants and agrees to reimburse PSE for all costs associated with PSE's work.

11. Release, Indemnification, and Hold Harmless.

11.1 Release and Indemnification. City of Duvall releases and will defend, indemnify and hold harmless PSE, its directors, officers, employees, agents and assigns (collectively referred to as the "**Indemnitees**") from and against any and all Claims arising out of or in connection with City of Duvall's occupancy, use or improvement of the Property, or that of any of its employees, agents, contractors, licensees, officers, guests, or invitees, or the use of the Property by the general public, including but not limited to Claims arising from City of Duvall's breach of its obligations hereunder, any act or omission of City of Duvall or its agents, contractors, licensees, or invitees, and any Environmental Liability, unless caused by the sole negligence or intentional acts of the Indemnitees. "Claims" includes claims, losses, costs, liabilities, demands, actions, damages and expenses (including, but not limited to reasonable attorney's fees). "Environmental Liability" means any and all liabilities, claims, lawsuits, costs, liens, obligations, expenses, attorney fees, fines, penalties, damages, consequential damages, and losses, arising from the release of a Hazardous Substance or any non-compliance with Environmental Laws. An Environmental Liability may be based upon an environmental law, any cause of action, criminal or civil statute, permit requirements, court or administrative order. "Hazardous Substance" means any material that is regulated or restricted by an Environmental Law, including but not limited to, Comprehensive Environmental Response Compensation and Liability Act (CERCLA) and Model Toxins Control Act (MTCA).

11.2 Waiver of Immunity under Title 51. City of Duvall agrees that the foregoing indemnity specifically covers actions brought by its own employees and that this indemnity shall survive termination or expiration of this Agreement. The foregoing indemnity is specifically and expressly intended to constitute a waiver of City of Duvall's

immunity under Washington's Industrial Insurance Act, RCW Title 51, to the extent necessary to provide PSE with a full and complete indemnity from claims made by City of Duvall and its employees. City of Duvall shall promptly notify PSE of casualties or accidents occurring in or about the Property.

11.3 Application of RCW 4.24.115. To the fullest extent permitted by applicable law, the foregoing release, indemnity and hold harmless shall apply to and for the benefit of the Indemnitees. If it is determined that RCW 4.24.115 applies to this Agreement, City of Duvall agrees to defend, indemnify and hold harmless the Indemnitees to the maximum extent permitted thereunder, and specifically for City of Duvall's negligence concurrent with that of the Indemnitees to the full extent of City of Duvall's negligence.

11.4 Recreational Use. PSE is permitting the use of the Property conditioned, in part, upon City of Duvall's agreement to make the Recreational Trail available to the public at no cost. To the extent that the Recreational Land Use Statute, RCW 4.24.210, or other applicable law provides immunity to PSE and City of Duvall, the Parties do not intend the indemnity in this Section to act as a waiver of such immunity.

THE INDEMNIFICATION PROVISIONS OF THIS SECTION 11 WERE SPECIFICALLY NEGOTIATED AND AGREED UPON BY THE PARTIES.

12. Invalidity.

Any provision of this Agreement which shall prove to be invalid, void or illegal shall in no way affect, impair, or invalidate any other provision hereof and the remaining provisions hereof shall nevertheless remain in full force and effect.

13. Nonwaiver.

The failure of PSE to insist upon or enforce strict performance by City of Duvall of any of the provisions of this Agreement or to exercise any rights under this Agreement shall not be construed as a waiver or relinquishment to any extent of its right to assert or rely upon any such provisions or rights in that or any other instance; rather, the same shall be and remain in full force and effect.

14. Assignment, Successors and Assigns.

This Agreement is personal to the Parties. As a result, City of Duvall will not assign, transfer, or otherwise dispose of any of the privileges granted under this Agreement without the prior written consent of PSE.

15. Applicable Law; Venue.

This Agreement shall in all respects be interpreted, construed and enforced in accordance with the laws of the State of Washington and the sole venue for any action arising out of this Agreement shall be the Superior Court of King County, King County, Washington.

16. Notices.

All notices hereunder must be in writing and shall be deemed validly given if sent by United States mail, by personal delivery, or by overnight delivery by a nationally recognized carrier, addressed as follows (or to any other address that the party to be notified may have designated to the sender by like notice):

PSE CONTACT INFORMATION

If to PSE by mail, to

Puget Sound Energy
P.O. Box 97034 / EST-06E (AEM)
Bellevue, WA 98009

If to City of Duvall to:

Jodi Wycoff, City Clerk
P.O. Box 1300
Duvall, WA 98109

17. Headings.

The titles of sections are for convenience only and do not define or limit the contents.

18. Entire Agreement; Exhibits.

This Agreement, including the exhibits, sets forth the entire agreement of the Parties, and supersedes any and all prior agreements, with respect to the Property and/or the Recreational Trail. The following Exhibits are made a part of this Agreement:

Exhibit A	Description of the Property
Exhibit B	PSE Property Depiction
Exhibit C	Routine Trail Signage Depiction
Exhibit D	Trail Closure Signage Depiction

IN WITNESS WHEREOF, City of Duvall has caused this agreement to be executed by its Mayor and PUGET SOUND ENERGY has executed the same this 6th day of December, 2019.

CITY OF DUVALL, a municipal corporation of the
State of Washington

By Amy Ocherlinda
Title MAYOR

The foregoing Permit Agreement is hereby accepted for and on behalf of PUGET SOUND ENERGY, a Washington corporation of the State of Washington, which by such acceptance agrees to assume and be bound by all of the terms and conditions herein contained.

PUGET SOUND ENERGY, a Washington
corporation

By Joel Sheppard
Title Supv. Real Estate
Date 12/6/19

STATE OF WASHINGTON)
) ss.
KING COUNTY)

I certify that I know that Amy Ockerlander signed this instrument, on oath stated that she was authorized by the City Council of the CITY OF DUVALL, a municipal corporation of the State of Washington, to execute the instrument, and acknowledged it as the Mayor of the City of Duvall, Washington, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated: 11/21/19

Jodi Wycoff
Name (printed) Jodi Wycoff
Notary Public in and for the State of Washington,
residing at Duvall, WA
My appointment expires 2-9-23



STATE OF WASHINGTON)
) ss.
KING COUNTY)

I certify that I know or have satisfactory evidence that Joel Schleppe signed this instrument, on oath stated that he is authorized to execute the instrument and acknowledged it as the Supervisor Real Estate of Puget Sound Energy, Inc. to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated: 12/6/19

Alex Malesis
Name (printed) Alex Malesis
Notary Public in and for the State of Washington,
residing at Newcastle, WA
My appointment expires 5/30/19

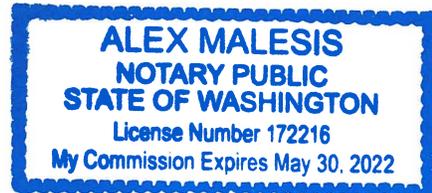
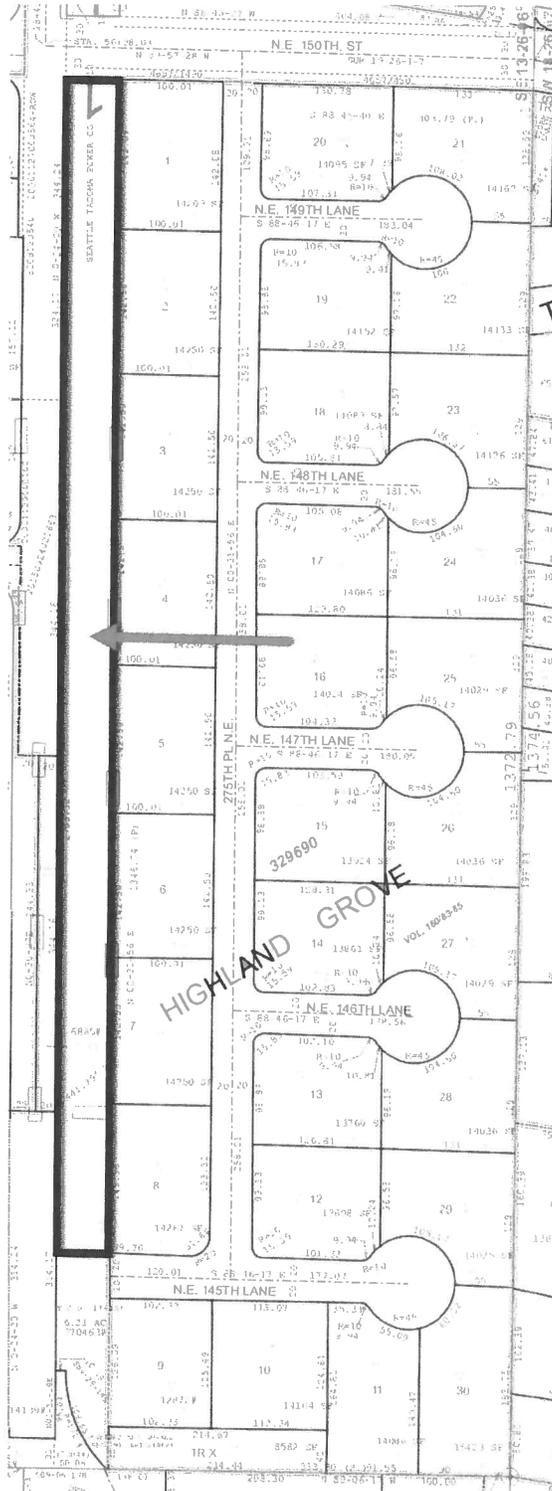
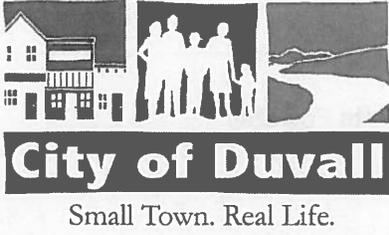


EXHIBIT "A"
Property Description

Commencing at the southeast corner of Section 15, Township 26 north, Range 06 east, Willamette Meridian in King County, Washington.,
Thence south 89°-06'-32" east, 395.99 feet,
Thence north 0°-31'56" east, 206.09 feet to the Point of Beginning,
Thence north 0°-31'56" east, 1,140.65 feet,
Thence north 89°-06'-32" west, 50 feet,
Thence south 0°-31'56" west, 1,140.65 feet,
Thence south 89°-06'-32" east, 50 feet to the Point of Beginning.

EXHIBIT "B"
PSE Property Depiction



<p>Received Stamp</p>		<p>Planning Department 15535 Main St. NE PO Box 1300 Duvall, WA 98019 (425) 788-2779 FAX (425) 788-8097 www.duvallwa.gov</p>
------------------------------	---	---

SEPA ENVIRONMENTAL CHECKLIST

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals: [\[help\]](#)

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background [\[help\]](#)

1. Name of proposed project, if applicable:

275th Avenue NE Complete Streets Pathway

2. Name of applicant:

City of Duvall, Public Works Department

3. Address and phone number of applicant and contact person:

**Alana McCoy
City of Duvall, Public Works Department
14525 Main St. NE
Duvall, WA 98019
425-939-8045**

4. Date checklist prepared:

**January 21, 2020
Updated on May 11, 2020**

5. Agency requesting checklist:

City of Duvall

6. Proposed timing or schedule (including phasing, if applicable):

- **Design Complete Spring 2020**
- **Construction Summer 2020**

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No, at this time there are no plans for future additions, expansions, or further activity related or connected with this proposal.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

- **Survey prepared by Mead Gilman & Associates. Dated December 3, 2019 and added section February 8, 2020.**
- **Tree Retention Plan (Arborist Report) prepared by Tree Resource. Dated April 14, 2020.**

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

Type II Site plan review permit application is required to be submitted in addition to a Master Permit Application. This SEPA checklist presents the information necessary to review for environmental impacts in accordance with the application and tree protection standards.

10. List any government approvals or permits that will be needed for your proposal, if known.

City of Duvall - Type II Site plan review permit

City of Duvall - Tree Removal Request application

City of Duvall – Right-of-way permit

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

This project will include:

- **Installation of approximately 1200 linear feet of 6' wide Puget Sound Energy (PSE) specified concrete placement for walking pathway as well as seating and exercise stations with landings and native landscape planting. Impervious surface coverage will be less than 12%.**
- **Intersection improvements at NE 150th Street and 275th Avenue NE for ADA/pedestrian crossing and illumination.**
- **Installation of mast arm cobra head light fixture(s) for street lighting.**
- **Planting of street trees and some minimal ornamental landscape plantings.**
- **Removal of some scrub vegetation including certain nonsignificant trees.**
- **Alternate #1, Rectangular Rapid Flashing Beacons at the 275th Avenue NE crosswalk.**
- **Alternate #2, Installation of non-moving activity center with three stations of equipment.**
- **Alternate #3, PSE conduit and Pole tube installation for three additional street lights at each intersection to the north and to the south.**

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The project is primarily within dedicated Puget Sound Energy property (Parcel #132606-9020) and generally located along the eastern boundary of the road right of way of 275th Avenue NE from NE 145th Lane northward to NE 150th Street within the City of Duvall. It also encompasses intersection improvements at NE 150th Street and 275th Avenue NE. SE ¼ of Section 13 Township 26 Range 6. Please see site plan for proposed project alignment.

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site:

(circle one): **Flat** rolling, hilly, steep slopes, mountainous, other _____

The site is relatively flat (0 – 2% grade) with less than a few feet of elevation differential between the project ends. Some slight undulation and mounding resulting from past minimal informal fill/dumping activity.

b. What is the steepest slope on the site (approximate percent slope)?

Generally, less than 2% difference along length of project site area. There are a few instances of isolated mounding due to minimal fill/dumping of landscape material and dirt causing small changes in slope elevation over a few feet.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

The site is an unimproved power line corridor with native vegetation. Lower levels of soil are described by the USDA's Web Soil Survey tool as 70% 255—Tokul gravelly medial loam, 8 to 15 percent slopes. No agricultural uses are present. The proposal does not include removal of any onsite soil.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None observed. There is mounding in a few isolated spots due to minimal fill/dumping of landscape material. They contain remnant soil from adjacent properties and consisting of same soil composition as on-site native soil.

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

Assuming an 8" depth profile of concrete pathway with base and 2" of regrade between the curb and sidewalk, total affected area of any filling, excavation and grading is approximately 250 cubic yards. It is anticipated that a minor amount of subsurface soil will be removed and replaced by imported

crushed rock for subgrade improvement for new concrete sidewalk.

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

No erosion will occur with proper use of temporary erosion control measures during the project to eliminate the risk.

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

With the installation of the 6' wide pedestrian pathway and three exercise station landings, it is anticipated that there will be approximately 12% of impervious surface coverage within the project site area.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Standard erosion control BMPs will be installed prior to construction and regularly inspected throughout. These BMPs include, but are not limited to, biodegradable erosion control blankets, temporary seeding, silt fence, straw bales, containment fences, stabilized construction entrances, and final revegetation of the disturbed areas. In addition, the project will comply with the City of Duvall's municipal NPDES permit with the Department of Ecology as well as all related City code.

2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

The project may result in short-term reductions in air quality due to increased emissions from construction equipment, vehicles, and dust during construction. No permanent emission will be generated by the project upon its completion.

Any project where demolition of structure(s), earth moving and material handling, heavy equipment operations, and/or disposing of vegetative matter is to occur, is subject to Puget Sound Clean Air Agency regulations. The requirements may include, but are not limited to the following:

Agency Regulation I:

- **Article 8 – Outdoor Burning**
- **Article 9 – Emission Control Standards, Section(s) 9.03, 9.11, and 9.15**

Agency Regulation III:

- **Article 4 – Asbestos Control Standards**

Agency Regulations can be viewed in full on our website:

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

Off-site sources of emission or odor are mainly related to vehicular traffic on the adjacent roadways and uses in the vicinity. Overall traffic levels would remain consistent with the current use. Existing emission levels would not affect the proposal.

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

During construction, measures will be taken to limit the amount of idling time of construction equipment and vehicles. Dust will be minimized by spraying exposed soil with water, if necessary. Paved streets will be swept daily following construction activities.

3. Water

- a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There are no surface water bodies on or in the immediate vicinity of the site. The nearest is a seasonal stream is located more than 230 feet away to the west and a stormwater retention pond more than 220 feet to the south, neither of which are hydrologically connected to the project site.

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No. There are no surface water bodies on or in the immediate vicinity of the site and the described waters are beyond 200 feet from the project site.

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

There are no surface water bodies on or in the immediate vicinity of the site, as such no fill or dredge material will be placed or removed related to a water body.

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No. The proposal will require no surface water withdrawals or diversions.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

The property does not lie within a 100-year floodplain.

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No. The proposal does not involve any discharges of waste materials to surface waters.

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No groundwater will be withdrawn from a well for drinking water or other purposes. No water will be discharged to groundwater.

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

No waste material will be discharged into the ground.

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

With impervious surface improvements limited to installation of 6' wide concrete pathway and three associated exercise station pads, any rainfall will be handled by natural surface drainage/sheet flow within the landscape strip between curb and pathway and existing unimproved vegetative area adjacent to rear side of pathway.

Temporary stormwater impacts during construction will be managed utilizing standard Best Management Practices (BMPs) such as catch basin silt socks and other measures.

2) Could waste materials enter ground or surface waters? If so, generally describe.

Waste materials are not anticipated to enter any waters.

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

Drainage patterns on site or the vicinity will not be altered.

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Limited surface water runoff from the 6' wide concrete pathway and three associated exercise stations will be handled by natural surface drainage/sheet flow within the landscape strip between curb and pathway and existing unimproved vegetative area adjacent to rear side of pathway.

To reduce or avoid impacts to surface, ground, and runoff water impacts, the project will incorporate the following measures at the minimum:

- **Preparation and implementation of an approved Temporary Erosion and Sediment Control (TESC) plan.**
- **Erosion control BMPs. (erosion control blankets, silt fence, straw wattle, straw mulch, plastic covering, seeding, check dams, inlet protection, etc.)**
- **Storm flows will be diverted during construction.**
- **All washout water and waste materials will be fully contained and disposed of offsite in accordance with federal, state, and local laws.**

4. Plants

a. Check the types of vegetation found on the site:

- deciduous tree: **alder, maple, cottonwood**, other
- evergreen tree: **fir, cedar**, pine, other
- shrubs
- grass
- pasture
- crop or grain
- Orchards, vineyards or other permanent crops.
- wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

Grass, blackberry bushes, certain small trees and scrub brush will be removed within the west 30 feet of the project site area to install new 6' concrete sidewalk pathway and three associated exercise stations. Clearing limits will be staked in the field. The work area will be reflected in the current construction drawings on the "Existing Conditions and TESC Plan."

Prior to contract bid advertisement and award, City crews have removed blackberries, trash and debris within the full PSE 50 foot easement and plan to maintain this width with a riding lawnmower in the future.

c. List threatened and endangered species known to be on or near the site.

There are no known listed and endangered plant species on or near the site.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Some vegetation enhancement is anticipated which will include ornamental plants, shrubs and street trees. Street trees will be planted in the landscape strip between the curb and the pathway. Expected species to be Scarlet Sentinel Maple (diameter 2.5 inches). All other unimproved disturbed areas outside the limits of the proposed pathway improvements and exercise stations will be restored by seeding with native seed mixes in addition to aforementioned street trees and shrub vegetation.

e. List all noxious weeds and invasive species known to be on or near the site.

Himalayan blackberry (*Rubus armeniacus*).

Evergreen blackberry (*Rubus laciniatus*).

Canada thistle (*Cirsium arvense*).

Common dandelion (*Taraxacum officinale*).

ryegrass.

5. Animals

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Examples include:

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other: raccoon, possum, rodent, coyote

fish: bass, salmon, trout, herring, shellfish, other _____

b. List any threatened and endangered species known to be on or near the site.

There are no listed threatened or endangered species known to be on or near the site.

c. Is the site part of a migration route? If so, explain.

Most of the State of Washington is part of the Pacific Flyway Route.

d. Proposed measures to preserve or enhance wildlife, if any:

None proposed.

e. List any invasive animal species known to be on or near the site.

Apart from rodent, none known.

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Solar energy is proposed to power the newly installed Rapid Rectangular Flashing Beacon (RRFB) pedestrian crossing controls.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No. The proposed project will not affect the potential use of solar energy by adjacent properties.

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

Solar energy is proposed to power the newly installed Rapid Rectangular Flashing Beacon (RRFB) pedestrian crossing controls. There are no other energy conservation features proposed by this project.

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

No environmental health hazards are anticipated. Heavy construction equipment will be used and there is the potential for spill of concrete or petroleum products. Best Management Practices will be observed.

- 1) Describe any known or possible contamination at the site from present or past uses.

None Known.

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

None Known.

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

None Known.

- 4) Describe special emergency services that might be required.

No additional emergency services are required for this project. The City of Duvall is served by Duvall Fire District 45 and the Duvall Police Department.

- 5) Proposed measures to reduce or control environmental health hazards, if any:

The contractor will utilize a site-specific safety and spill response plan.

b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Traffic noise from 275th Avenue is the main source of existing noise within the project area. Existing noise levels are not anticipated to affect this project.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

There will be short-term increases in noise from construction equipment. Construction activities will generally be limited to the period between 7:00 am and 6:00 pm, Monday through Saturday (Duvall Municipal Code 6.04.060). Work outside of those approved hours may be requested in advance by the Contractor and approved by the City Engineer. Minor verbal noise may be emitted by users of the new pathways and associated exercise stations.

3) Proposed measures to reduce or control noise impacts, if any:

Construction activities will generally be limited to the period between 7:00 am and 6:00 pm, Monday through Saturday; except as otherwise authorized by the Engineer. All noise generated by construction activities will comply with Duvall Municipal Code 6.04.

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The project site is currently in use as a power line corridor owned and managed by Puget Sound Energy. Adjacent properties include existing single-family residential development on south, east and west sides. Property the north includes a small City park. The proposal will not affect current land uses on nearby or adjacent properties.

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or no forest use?

The property has no known agricultural or managed forestry history.

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

The proposal will not affect, or be affected by, surrounding working farm or forest land normal business operations.

c. Describe any structures on the site.

There are no structures present on the site.

d. Will any structures be demolished? If so, what?

As there are no structures present on the site, no structures will be demolished.

e. What is the current zoning classification of the site?

As the site is owned by Puget Sound Energy for the purpose of a public power line corridor, the site is unzoned.

f. What is the current comprehensive plan designation of the site?

Power line corridor surrounded by single family residential within King County.

g. If applicable, what is the current shoreline master program designation of the site?

Not applicable, the site is outside of the Shoreline Master Program zone.

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

No part of the site has been classified as a critical area by the city or county.

i. Approximately how many people would reside or work in the completed project?

No persons would reside or work in the completed project.

j. Approximately how many people would the completed project displace?

No persons would be displaced by the completed project.

k. Proposed measures to avoid or reduce displacement impacts, if any:

As no persons would be displaced by the completed project, no measures to avoid or reduce displacement impacts are proposed.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

There are no proposed measures to ensure the proposal is compatible with existing and projected land uses and plans as the recreation activity of this proposal is compatible with residential land uses.

m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any:

Not applicable as there are no nearby agricultural and forest lands of long-term commercial significance.

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

As this proposal is for a new pathway and recreational exercise stations within a power line corridor, no residential housing units would be provided.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

No residential housing units currently exist for an opportunity to be eliminated since this proposal is for a new pathway and recreational exercise stations within a power line corridor.

- c. Proposed measures to reduce or control housing impacts, if any:

This proposal is for a new pathway and recreational exercise stations within a power line corridor. There are no current or planned housing units, therefore no measures to reduce or control housing impacts are proposed.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

This proposal would add a new pathway and recreational exercise stations along with newly installed street trees. The tallest height of the exercise station equipment would be no higher than 8 feet. In addition, an overhead cobra head mast arm streetlight will be added at the 275th Avenue NE and NE 150th Street intersection, which would be standard 30 feet in height and provide for safety illumination of pedestrian crosswalk.

- b. What views in the immediate vicinity would be altered or obstructed?

No views in the immediate vicinity would be altered or obstructed.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

There are no aesthetic impacts associated to this project.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Apart from the proposed installation of the cobra head mast arm streetlight at the 275th Avenue NE and NE 150th Street intersection, this project will not produce any light or glare outside of the intersection location and only during periods of darkness.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No. Any light or glare from the finished project will not be a safety hazard or interfere with views.

- c. What existing off-site sources of light or glare may affect your proposal?

There are no existing off-site sources of light or glare may affect the proposal.

- d. Proposed measures to reduce or control light and glare impacts, if any:

There are no proposed measures to reduce or control light and glare impacts as there are none expected apart from the proposed installation of a streetlight mast arm at the 275th Avenue NE and NE 150th Street intersection.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Immediately to the north lies Judd Park across the 275th Avenue NE and NE 150th Street intersection, a small neighborhood park serving the youngest children, specifically 2-5 years old. The City Parks, Trails and Open Space Goal 5.1; Connect existing residential neighborhoods to each other as well as to nearby schools, parks, regional trails and community facilities via a trail network. Goal 5.4; Work with PSE to acquire appropriate rights to existing utility corridor(s) for trail linkage. Develop these corridor(s) with multi purpose trail/corridor for both wildlife and public use.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No. The proposed project will not displace any existing recreational uses. In fact, it would actually add recreation opportunities as the proposal includes a new 6' wide pathway for walking through the PSE power line corridor property as well as several exercise stations.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

There are none as the proposal will actually add recreation opportunities which include a new 6' pathway for walking through the PSE power line corridor property as well as several exercise stations.

13. Historic and cultural preservation

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

There are no buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site. The

nearest structure older than 45 years is located at 15107 278th Avenue NE (which is greater than 1,000 feet away from the north edge of the proposed project site).

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

There are no known landmarks, features, or other evidence of Indian or historic use or occupation within the projects Area of Potential Effects (APE). There are also no material evidence, artifacts, or areas of cultural importance on or near the site.

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

Staff utilized the Department of Archeological and Historic Preservation's "WISAARD" system and its predictive model layer. When querying the project area, the WISAARD system primarily indicates a "typical moderately low risk" for archeological resources.

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

In accordance with standard procedures and DAHP consultation an "inadvertent discovery protocol" will be included in the project documents.

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

275th Avenue NE and NE 150th Street serve the site. Improvements to these streets include new pedestrian control devises such as Rectangular Rapid Flashing Beacons, newly painted crosswalks and installed ADA ramps.

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

The site is not currently served by public transit.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

There are no existing spaces nor additional parking spaces would be provided by the completed project.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

The proposal will include improvements to existing roads by providing new pedestrian safety features including Rapid Rectangular Flashing Beacons, ADA ramps, and painted crosswalks.

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

The project will not use (or occur in the immediate vicinity of) water, rail, or air transportation.

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

Vehicular traffic will not increase as a result of the proposed project.

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

No. The proposal will not interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area as it is in a primarily residential neighborhood without any adjacent or nearby agricultural and forest products activities.

- h. Proposed measures to reduce or control transportation impacts, if any:

Traffic control with appropriate signage and flaggers will be necessary during construction.

15. Public Services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

The project will not result in an increased need for public services.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

There are no proposed measures to reduce or control direct impacts on public services.

16. Utilities

- a. Circle utilities currently available at the site:



electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system,
other _____

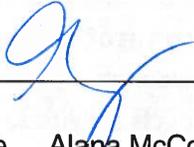
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

This project proposes to install a solar powered Rectangular Rapid Flashing Beacon at the intersection of 275th Avenue NE and NE 150th Street. No additional utilities are required to complete this project.

C. Signature [\[help\]](#)

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

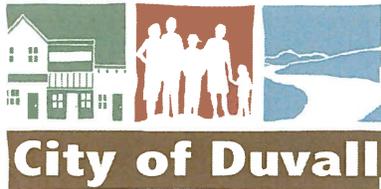
Signature: _____



Name of signee Alana McCoy

Position and Agency/Organization Project Manager

Date Submitted: **May 11, 2020**



Small Town. Real Life.

Planning Department

DETERMINATION OF NONSIGNIFICANCE
275th Avenue Complete Streets Sidewalk/Trail Improvements
(SPR20-002)

May 27, 2020

PROJECT NAME / DESCRIPTION OF PROPOSAL

275th Avenue Complete Streets Sidewalk/Trail Improvements (SPR20-002). The City applied for and received a grant for improvements along 275th and within the 50' PSE Tract. The Applicant, Alana McCoy on behalf of City of Duvall Public Works, is proposing to install approximately 1,200 linear feet of 6' wide concrete sidewalk/trail in the PSE easement with a 5' landscape strip (except in areas where trees and slope require it to be moved behind the sidewalk), ADA ramp improvements, crosswalk improvements including striping, street tree installation and landscape within the PSE 50' utility easement. The project will include the removal of vegetation and trees within the project area. Additional project features that may be installed include streetlights, a solar rapid flashing beacon adjacent to Judd Park, and a recreational activity station to be located adjacent to the sidewalk/trail.

APPLICANT/CONTACT

Alana McCoy, City of Duvall Public Works Department, 14525 Main Street NE, PO Box 1300, Duvall, WA 98019, 425-939-8045, alana.mccoy@duvallwa.gov

LEAD AGENCY

Lead Agency: City of Duvall, PO Box 1300, Duvall, WA 98019

The responsible official hereby makes the following determination based upon impacts identified in the environmental checklist and evaluated by staff, the policies set out in the 2015 City of Duvall Comprehensive Plan, and other municipal policies, plans, rules, and regulations designated as a basis for the exercise of substantive authority of the Washington State Environmental Policy Act Rules pursuant to RCW 43.21C.

It is hereby determined that this proposal does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.031(1). This DNS is issued under WAC 197-11-340; the lead agency will not act on this proposal for at least 14 days from May 27, 2020.

DISCLAIMER

Issuance of this threshold determination does not constitute approval of any permit associated with this proposal. The proposal will be reviewed for compliance with all applicable City of Duvall codes which regulate development activities including, but not limited to, Land Use Codes, Building Codes, Public Works Development Design Standards, Surface Water Design Manual, and Sensitive Area regulations.

DESCRIPTION OF ACTION AND IMPACTS

Action: This is a project action to install pedestrian improvements, street trees, landscaping, vegetation and tree removal. Temporary erosion control measures will be implemented. Best Management Practices will be utilized during construction.

COMMENT PERIOD

Comments regarding this DNS must be submitted to Lara Thomas no later than **4:30 p.m. on June 10, 2020**. Appeals shall be filed in accordance with DMC 14.08.060.C.

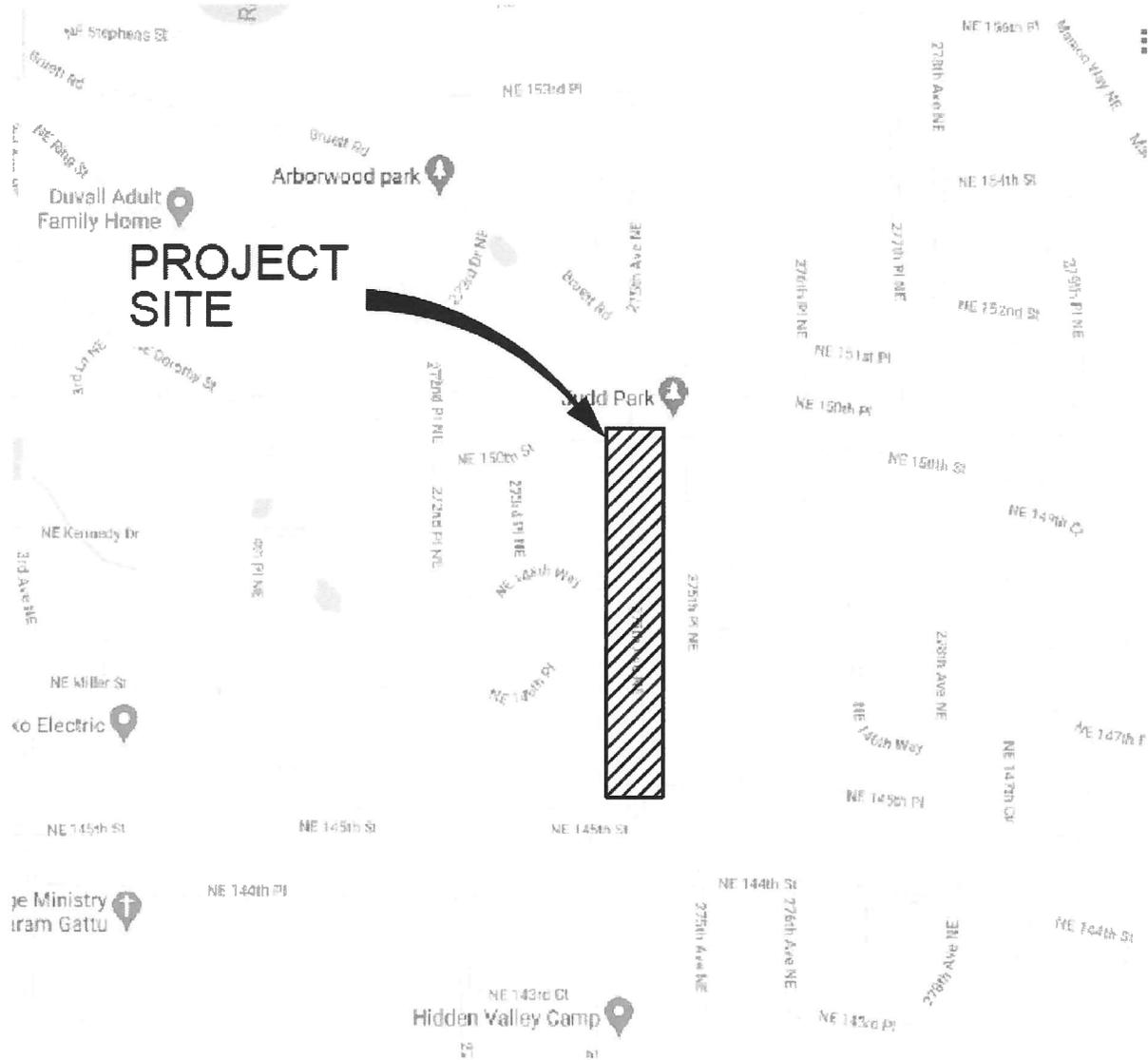
RESPONSIBLE OFFICIAL

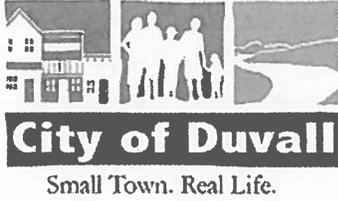
Lara Thomas, Community Development Director
 PO Box 1300, Duvall, WA 98019, (425) 939-8079

Lara Thomas 5/27/20

Lara Thomas, Planning Director - Date Issued 05/27/20

VICINITY MAP





DECLARATION OF MAILING AND ELECTRONIC MAILING

I Alana McCoy (print name) understand that public notices are to be distributed in accordance with the requirements Duvall Municipal Code Chapter 14.08.010.C.4 (Notice Requirements for Project Permit Applications).

I certify that on 5-26-20 (date), the following public notice (attached hereto) for

- Notice of Application
SEPA Threshold Determination
Public Hearing
Other Land Use Notice

was mailed or electronically mailed to the following parties (as set forth in the attached mailing list):

- Property Owners within 500 feet of Project Site
Local newspaper on 5-27-20 for publication on above date.
Agencies (including DRC)
Applicant
Duvall Planning Commission
Duvall Mayor and City Council
Parties of Record (if any) HEATHER DOWNING, CYNTHIA + STEVE SCHOMMER, TRACE RAKUS

Troy DAVIS Completed

for the following land use application (name and file number):

275th @complete streets trail s/w Improvement

Signature

Date

Alana McCoy

From: Troy Davis
Sent: Tuesday, May 26, 2020 2:37 PM
To: Alana McCoy; Barry Kerth; Carey Hert; Charlene Andrade; Cindy Spiry; City Council Distribution; Dave Weiss; David Burke; Dianne Brudnicki; Doug Peters; E Harris; Eric Preston; Jacob Sheppard; Jim Ishimaru; John Greene; Kurt; Lara Thomas; Matt Baerwalde; Meisha Robertson; Melanie Young; Michael Remington; Peter Alm; Planning Commissioners; Ramon Locsin; SEPA Adesk; SEPA Center; SEPA Register; SEPA Unit; Shaun Tozer; Steve Mullen-Moses; Steven Leniszewski; Team Mill Creek; Troy Davis; Ty Peterson; Wendy Gallagher
Subject: City of Duvall - SEPA Threshold Determination - 275th Ave Complete Street Project
Attachments: 275th Complete Streets trail-sidewalk Improvements_052720.pdf; Revised SEPA Signed 5-11-20.pdf; Duvall Complete Streets-275th_Bid Drawings_200408.pdf

Dear Agency-

Please see the attached SEPA Threshold Determination, SEPA Checklist, and project drawings. Comment period ends June 10, 2020. Thanks.



Community Development
Planning Department



Troy Davis

Senior Planner

Office: 425.788.2779

Direct: 425.939.8078

PO Box 1300

15535 Main Street NE

Duvall, WA 98019

www.duvallwa.gov

NOTICE OF PUBLIC DISCLOSURE: This e-mail account is public domain. Any correspondence from or to this e-mail account is a public record. Accordingly, this e-mail, in whole or in part, may be subject to disclosure pursuant to RCW 42.56, regardless of any claim of confidentiality or privilege asserted by an external party.

Alana McCoy

From: Alana McCoy
Sent: Tuesday, May 26, 2020 2:46 PM
To: Alana McCoy; Troy Davis
Subject: FW: City of Duvall - SEPA Threshold Determination - 275th Ave Complete Street Project
Attachments: 275th Complete Streets trail-sidewalk Improvements_052720.pdf; Revised SEPA Signed 5-11-20.pdf; Duvall Complete Streets-275th_Bid Drawings_200408.pdf

To whom it may concern,

Please see the attached SEPA Threshold Determination, SEPA Checklist, and project drawings. Comment period ends June 10, 2020. Thanks.



Community Development
Planning Department



Troy Davis

Senior Planner

Office: 425.788.2779
Direct: 425.939.8078

PO Box 1300
15535 Main Street NE
Duvall, WA 98019

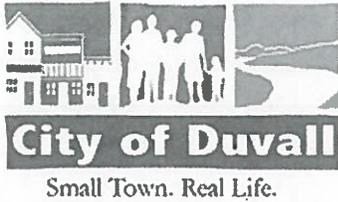
www.duvallwa.gov

NOTICE OF PUBLIC DISCLOSURE: This e-mail account is public domain. Any correspondence from or to this e-mail account is a public record. Accordingly, this e-mail, in whole or in part, may be subject to disclosure pursuant to RCW 42.56, regardless of any claim of confidentiality or privilege asserted by an external party.

Resident 27415 NE 148TH WAY DUVALL, WA 98019	Resident 27410 NE 150TH ST DUVALL, WA 98019	Resident 14902 276TH PL NE DUVALL, WA 98019
Resident 27330 NE 148TH WAY DUVALL, WA 98019	Resident 27402 NE 150TH ST DUVALL, WA 98019	Resident 14914 276TH PL NE DUVALL, WA 98019
Resident 27322 NE 148TH WAY DUVALL, WA 98019	Resident 27324 NE 150TH ST DUVALL, WA 98019	
Resident 14828 273RD PL NE DUVALL, WA 98019	Resident 27315 NE 151ST PL DUVALL, WA 98019	
Resident 14902 273RD PL NE DUVALL, WA 98019	Resident 14933 276TH PL NE DUVALL, WA 98019	
Resident 14914 273RD PL NE DUVALL, WA 98019	Resident 14925 276TH PL NE DUVALL, WA 98019	
Resident 14922 273RD PL NE DUVALL, WA 98019	Resident 14919 276TH PL NE DUVALL, WA 98019	
Resident 14930 273RD PL NE DUVALL, WA 98019	Resident 14915 276TH PL NE DUVALL, WA 98019	
Resident 27428 NE 150TH ST DUVALL, WA 98019	Resident 14911 276TH PL NE DUVALL, WA 98019	
Resident 27420 NE 150TH ST DUVALL, WA 98019	Resident 14905 276TH PL NE DUVALL, WA 98019	

Resident 27604 NE 146TH WAY DUVALL, WA 98019	Resident 27719 NE 146TH WAY DUVALL, WA 98019	Resident 27517 NE 145TH LN DUVALL, WA 98019
Resident 27601 NE 146TH WAY DUVALL, WA 98019	Resident 14907 275TH PL NE DUVALL, WA 98019	Resident 27521 NE 145TH LN DUVALL, WA 98019
Resident 27603 NE 146TH WAY DUVALL, WA 98019	Resident 14831 275TH PL NE DUVALL, WA 98019	Resident 27520 NE 145TH LN DUVALL, WA 98019
Resident 27605 NE 146TH WAY DUVALL, WA 98019	Resident 14805 275TH PL NE DUVALL, WA 98019	Resident 27521 NE 146TH LN DUVALL, WA 98019
Resident 27607 NE 146TH WAY DUVALL, WA 98019	Resident 14715 275TH PL NE DUVALL, WA 98019	Resident 27522 NE 146TH LN DUVALL, WA 98019
Resident 27609 NE 146TH WAY DUVALL, WA 98019	Resident 14703 275TH PL NE DUVALL, WA 98019	Resident 27519 NE 147TH LN DUVALL, WA 98019
Resident 27611 NE 146TH WAY DUVALL, WA 98019	Resident 14611 275TH PL NE DUVALL, WA 98019	Resident 27518 NE 147TH LN DUVALL, WA 98019
Resident 27713 NE 146TH WAY DUVALL, WA 98019	Resident 14533 275TH PL NE DUVALL, WA 98019	Resident 27517 NE 148TH LN DUVALL, WA 98019
Resident 27715 NE 146TH WAY DUVALL, WA 98019	Resident 14509 275TH PL NE DUVALL, WA 98019	Resident 27516 NE 148TH LN DUVALL, WA 98019
Resident 27717 NE 146TH WAY DUVALL, WA 98019	Resident 27505 NE 145TH LN DUVALL, WA 98019	Resident 27515 NE 149TH LN DUVALL, WA 98019

Resident 14932 276TH PL NE DUVALL, WA 98019	Resident 27610 NE 145TH PL DUVALL, WA 98019	Resident 27516 NE 150TH PL DUVALL, WA 98019
Resident 14601 275TH AVE NE DUVALL, WA 98019	Resident 27611 NE 145TH PL DUVALL, WA 98019	Resident 15106 275TH CT NE DUVALL, WA 98019
Resident 14515 275TH AVE NE DUVALL, WA 98019	Resident 27617 NE 145TH PL DUVALL, WA 98019	Resident 15115 275TH CT NE DUVALL, WA 98019
Resident 14903 275TH AVE NE DUVALL, WA 98019	Resident 27629 NE 145TH PL DUVALL, WA 98019	Resident 15031 275TH CT NE DUVALL, WA 98019
Resident 14907 275TH AVE NE DUVALL, WA 98019	Resident 27509 NE 150TH PL DUVALL, WA 98019	Resident 15105 276TH PL NE DUVALL, WA 98019
Resident 14920 276TH PL NE DUVALL, WA 98019	Resident 27515 NE 150TH PL DUVALL, WA 98019	Resident 15029 276TH PL NE DUVALL, WA 98019
Resident 27411 NE 150TH ST DUVALL, WA 98019	Resident 27523 NE 150TH PL DUVALL, WA 98019	Resident 14926 276TH PL NE DUVALL, WA 98019
Resident 27405 NE 150TH ST DUVALL, WA 98019	Resident 27529 NE 150TH PL DUVALL, WA 98019	Resident 27603 NE 150TH PL DUVALL, WA 98019
Resident 14905 275TH AVE NE DUVALL, WA 98019	Resident 27530 NE 150TH PL DUVALL, WA 98019	Resident 27609 NE 150TH PL DUVALL, WA 98019
Resident 27616 NE 145TH PL DUVALL, WA 98019	Resident 27524 NE 150TH PL DUVALL, WA 98019	Resident 27613 NE 150TH PL DUVALL, WA 98019



AFFIDAVIT OF INSTALLATION OF MARKERS AND POSTING OF PUBLIC INFORMATION SIGN(S)

I Alana McCoy (print name) understand that public notices are to be posted in accordance with the requirements Duvall Municipal Code Chapter 14.08.010.C.4 (Notice Requirements for Project Permit Applications).

I certify that on 5-26-20 (date), the following public notice sign (attached hereto) for

- Notice of Application
- SEPA Threshold Determination
- Public Hearing
- Other Land Use Notice

was posted at the following locations:

- City Hall (Notice Board) – 15535 Main Street NE, Duvall, WA 98019
- Duvall Library (Notice Board) – 15508 Main Street NE, Duvall, WA 98019
- On Site at: 275th + 150th phase 275th + 145th LAWE
- On Site at: _____

for the following land use application (name and file number):

275th Complete Streets Sidewalk Trail Improvement

Signature 

Date 5.26.20

The Seattle Times

Re: Advertiser Account # 106931

Ad #: 945307

Agency Account #: 0

Agency Name:

AD TEXT

City of Duvall
SEPA Threshold Determination
275th AVE Complete Streets Sidewalk/
Trail Improvements

PROJECT NAME/DESCRIPTION OF PROPOSAL: 275th Avenue Complete Streets Sidewalk/Trail Improvements (SPR20-002). The City applied for and received a grant for improvements along 275th and within the 50' PSE Tract. The Applicant, Alana McCoy on behalf of City of Duvall Public Works, is proposing to install approximately 1,200 linear feet of 6' wide concrete sidewalk/trail in the PSE easement with a 5' landscape strip (except in areas where trees and slope require it to be moved behind the sidewalk), ADA ramp improvements, crosswalk improvements including striping, street tree installation and landscape with in the PSE 50' utility easement. The project will include the removal of vegetation and trees within the project area. Additional project features that may be installed include streetlights, a solar rapid flashing beacon adjacent to Judd Park, and a recreational activity station to be located adjacent to the sidewalk/trail. APPLICANT/CONTACT: Alana McCoy, City of Duvall Public Works Department, 14525 Main Street NE, PO Box 1300, Duvall, WA 98019, 425-939-8045, alana.mccoy@duvallwa.gov. LEAD AGENCY: City of Duvall, PO Box 1300, Duvall, WA 98019. The responsible official hereby makes the following determination based upon impacts identified in the environmental checklist and evaluated by staff, the policies set out in the 2015 City of Duvall Comprehensive Plan, and other municipal policies, plans, rules, and regulations designated as a basis for the exercise of substantive authority of the Washington State Environmental Policy Act Rules pursuant to RCW 43.21C. It is hereby determined that this proposal does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.031(1). This DNS is issued under WAC 197-11-340; the lead agency will not act on this proposal for at least 14 days from May 26, 2020. DISCLAIMER: Issuance of this threshold determination does not constitute approval of any permit associated with this proposal. The proposal will be reviewed for compliance with all applicable City of Duvall codes which regulate development activities including, but not limited to, Land Use Codes, Building Codes, Public Works Development Design Standards, Surface Water Design Manual, and Sensitive Area regulations. DESCRIPTION OF ACTION AND IMPACTS: Action: This is a project action to install pedestrian improvements, street trees, landscaping, vegetation and tree removal. Temporary erosion control measures will be implemented. Best Management Practices will be utilized during construction. COMMENT PERIOD: Comments regarding this DNS must be submitted to Lara Thomas no later than 4:30 p.m. on June 10, 2020. Appeals shall be filed in accordance with DMC 14.08.060.C. RESPONSIBLE OFFICIAL: Lara Thomas, Community Development Director, PO Box 1300, Duvall, WA 98019, (425) 939-8079. Date Issued 05/27/20.

RECEIVED

JUN 03 2020

CITY OF DUVALL

The Seattle Times

City of Duvall
Accounts Payable
PO Box 1300

Duvall, WA 98019

Re: Advertiser Account # 106931
Ad #: 945307

Agency Account #: 0
Agency Name:

Affidavit of Publication

STATE OF WASHINGTON
Counties of King and Snohomish

The undersigned, on oath states that he/she is an authorized representative of The Seattle Times Company, publisher of The Seattle Times of general circulation published daily in King and Snohomish Counties, State of Washington. The Seattle Times has been approved as a legal newspaper by others of the Superior Court of King and Snohomish Counties.

The notice, in the exact form annexed, was published in the regular and entire issue of said paper or papers and distributed to its subscribers during all of the said period.

Newspaper and Publication Date(s)	
Seattle Times	05/27/20

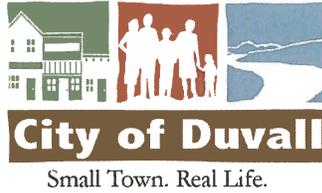
Agent Debbie Collantes Signature Debbie Collantes

FRANKIE FLIGHT
Notary Public
State of Washington
License Number 19110383
My Commission Expires
November 04, 2023

Subscribed and sworn to before me on 5/27/20
DATE

Frankie Flight

(Notary Signature) Notary Public in and for the State of Washington, residing at Seattle



**DETERMINATION OF COMPLETENESS
FOR 275TH AVE NE COMPLETE STREET SPR20-002**

March 5, 2020

Alana McCoy, Project Manager
PO Box 1300
Duvall, WA 98019

Dear Alana McCoy,

The City of Duvall's Planning Department received an application for Site Plan Review from you on February 21, 2020 for a complete street project located within the 14500-15000 blocks of 275th Ave NE . In accordance with RCW 36.70.B.070, this letter serves as formal notice that Planning staff has reviewed your application and determined it to be complete as of the date of this letter.

This determination of completeness has been made because staff has determined that the applications are sufficient for continued processing even though additional information may be required, or project modifications may be undertaken subsequently. The city's determination of completeness does not preclude the City from requesting additional information or studies either at the time of the determination or later, if new information is required or where there are significant changes in the proposed action.

Your application will be processed as a Type II project permit in accordance with Duvall Municipal Code Chapter (DMC) 14.08 (Permit Processing). Under DMC 14.08.020.G, a final decision on your application will be issued within 120 days of the date of this letter. Please note, for purposes of calculating the number of days under review, certain periods of time are excluded from calculation (see DMC 14.08.020.G.4). City staff will now begin processing your application thoroughly. The City anticipates providing you with first round review comments from staff by April 3, 2020.

Additionally, within 14 days of the date of this letter, staff will provide a formal Notice of Application to surrounding property owners within 500 feet of the project site and other government agencies. This Notice of Application includes a 14-day public comment period after which time staff will forward all comments to you for your consideration.

We look forward to helping you through the permitting process. Please call or email with any questions.

Sincerely,

Troy Davis, Senior Planner
City of Duvall Planning Department



Small Town. Real Life.

NOTICE OF APPLICATION

Planning Department

275th AVE NE COMPLETE STREET PROJECT

File № SPR20-002

March 19, 2020

PROJECT INFORMATION

The following permit application was submitted on February 21, 2020 and determined complete on March 5, 2020: 275th AVE NE Complete Street Project. The applicant, Alana McCoy on behalf of the City of Duvall, is proposing to install approximately 1,200 linear feet of sidewalk along 275th Ave NE from NE 145th Lane to NE 150th Street inclusive of up to three activity stations and intersection improvements at NE 150th Street. This project is located within the 14500 to 15000 blocks of NE 275th Ave NE. The project is located within existing right-of-way. Rights-of-way do not have a zoning classification within the City.

APPLICANT CONTACT INFORMATION

Alana McCoy, Project Manager, 14525 Main Street NE (P.O. Box 1300), Duvall, WA 98019, 425-939-8045, alana.mccoy@duvallwa.gov

OPPORTUNITY FOR PUBLIC COMMENT

Any interested person may send written comments about this application to Troy Davis, Senior Planner, City of Duvall, P.O. Box 1300, Duvall, WA 98019, or by submitting to City of Duvall Planning Department, 15535 Main Street N.E., Duvall, Washington, or by email at troy.davis@duvallwa.gov. **Comments will be accepted until 4:30 P.M on April 2, 2020.**

PUBLIC HEARINGS ON THIS PROJECT

This is a Type II permit application which requires a decision from the City's Community Development Director. Public hearings are not required for Type II permit applications.

WHAT PERMITS WOULD THIS PROJECT NEED? WHAT STUDIES HAVE BEEN REQUESTED?

Site Plan Review, Construction Drawing Approval, Right-of-Way Permit.

WHAT CITY OF DUVALL REGULATIONS WILL APPLY TO THIS PROJECT?

2015 City of Duvall Comprehensive Plan, Duvall Municipal Code, and Public Works Design Standards

ARE THERE ANY EXISTING ENVIRONMENTAL REPORTS OR DOCUMENTS THAT EVALUATE THIS PROJECT?

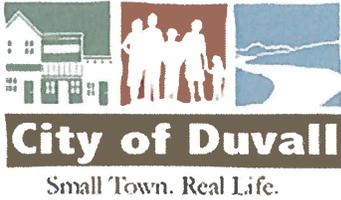
State Environmental Policy Act Environmental Checklist (SEPA), Tree Retention Plan

FILE REVIEW / APPEALS

Anyone may view the contents of the application file by first filing a public records request with the City Clerk at (425) 939-8088. The application file for this project is available at City Hall, located at 15535 Main Street NE in Duvall. You may request a copy of any decision, information on hearings, and your appeal rights by calling the Planning Department at (425) 788-2779.

Lara Thomas
FOR Lara Thomas, Community Development Director

3/19/20
Issuance Date



AFFIDAVIT OF INSTALLATION OF MARKERS AND POSTING OF PUBLIC INFORMATION SIGN(S)

I TROY DAVIS (print name) understand that public notices are to be posted in accordance with the requirements Duvall Municipal Code Chapter 14.08.010.C.4 (Notice Requirements for Project Permit Applications).

I certify that on 3/19/20 (date), the following public notice sign (attached hereto) for

- Notice of Application
- SEPA Threshold Determination
- Public Hearing
- Other Land Use Notice

was posted at the following locations:

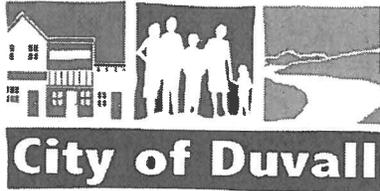
- City Hall (Notice Board) – 15535 Main Street NE, Duvall, WA 98019
- Duvall Library (Notice Board) – 15508 Main Street NE, Duvall, WA 98019
- On Site at: CORNER OF NE 150TH ST. & 275TH AVE NE
- On Site at: _____

for the following land use application (name and file number):

275TH AVE COMPLETE STREETS PROJECT SPR20-002

Troy Davis
Signature

3/20/20
Date



Small Town. Real Life.

NOTICE OF APPLICATION

Planning Department

275th AVE NE COMPLETE STREET PROJECT

File № SPR20-002

March 19, 2020

PROJECT INFORMATION

The following permit application was submitted on February 21, 2020 and determined complete on March 5, 2020: 275th AVE NE Complete Street Project. The applicant, Alana McCoy on behalf of the City of Duvall, is proposing to install approximately 1,200 linear feet of sidewalk along 275th Ave NE from NE 145th Lane to NE 150th Street inclusive of up to three activity stations and intersection improvements at NE 150th Street. This project is located within the 14500 to 15000 blocks of NE 275th Ave NE. The project is located within existing right-of-way. Rights-of-way do not have a zoning classification within the City.

APPLICANT CONTACT INFORMATION

Alana McCoy, Project Manager, 14525 Main Street NE (P.O. Box 1300), Duvall, WA 98019, 425-939-8045, alana.mccoy@duvallwa.gov

OPPORTUNITY FOR PUBLIC COMMENT

Any interested person may send written comments about this application to Troy Davis, Senior Planner, City of Duvall, P.O. Box 1300, Duvall, WA 98019, or by submitting to City of Duvall Planning Department, 15535 Main Street N.E., Duvall, Washington, or by email at troy.davis@duvallwa.gov. **Comments will be accepted until 4:30 P.M on April 2, 2020.**

PUBLIC HEARINGS ON THIS PROJECT

This is a Type II permit application which requires a decision from the City's Community Development Director. Public hearings are not required for Type II permit applications.

WHAT PERMITS WOULD THIS PROJECT NEED? WHAT STUDIES HAVE BEEN REQUESTED?

Site Plan Review, Construction Drawing Approval, Right-of-Way Permit.

WHAT CITY OF DUVALL REGULATIONS WILL APPLY TO THIS PROJECT?

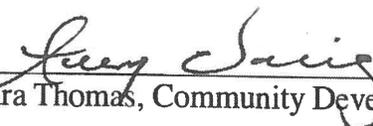
2015 City of Duvall Comprehensive Plan, Duvall Municipal Code, and Public Works Design Standards

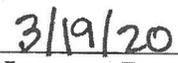
ARE THERE ANY EXISTING ENVIRONMENTAL REPORTS OR DOCUMENTS THAT EVALUATE THIS PROJECT?

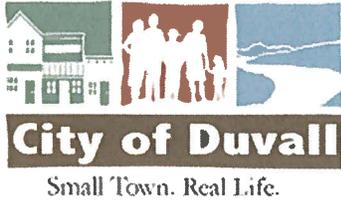
State Environmental Policy Act Environmental Checklist (SEPA), Tree Retention Plan

FILE REVIEW / APPEALS

Anyone may view the contents of the application file by first filing a public records request with the City Clerk at (425) 939-8088. The application file for this project is available at City Hall, located at 15535 Main Street NE in Duvall. You may request a copy of any decision, information on hearings, and your appeal rights by calling the Planning Department at (425) 788-2779.


FOR Lara Thomas, Community Development Director


3/19/20
Issuance Date



DECLARATION OF MAILING AND ELECTRONIC MAILING

I TROY DAVIS (print name) understand that public notices are to be distributed in accordance with the requirements Duvall Municipal Code Chapter 14.08.010.C.4 (Notice Requirements for Project Permit Applications).

I certify that on 3/19/20 (date), the following public notice (attached hereto) for

- Notice of Application
- SEPA Threshold Determination
- Public Hearing
- Other Land Use Notice

was mailed or electronically mailed to the following parties (as set forth in the attached mailing list):

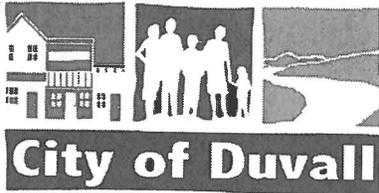
- Property Owners within 500 feet of Project Site
- Local newspaper on _____ for publication on above date.
- Agencies (including DRC)
- Applicant
- Duvall Planning Commission
- Duvall Mayor and City Council
- Parties of Record (if any)

for the following land use application (name and file number):

275TH AVE NE COMPLETE STREETS PROJECT SPR20-002


Signature

3/20/20
Date



Small Town. Real Life.

NOTICE OF APPLICATION

Planning Department

275th AVE NE COMPLETE STREET PROJECT

File № SPR20-002

March 19, 2020

PROJECT INFORMATION

The following permit application was submitted on February 21, 2020 and determined complete on March 5, 2020: 275th AVE NE Complete Street Project. The applicant, Alana McCoy on behalf of the City of Duvall, is proposing to install approximately 1,200 linear feet of sidewalk along 275th Ave NE from NE 145th Lane to NE 150th Street inclusive of up to three activity stations and intersection improvements at NE 150th Street. This project is located within the 14500 to 15000 blocks of NE 275th Ave NE. The project is located within existing right-of-way. Rights-of-way do not have a zoning classification within the City.

APPLICANT CONTACT INFORMATION

Alana McCoy, Project Manager, 14525 Main Street NE (P.O. Box 1300), Duvall, WA 98019, 425-939-8045, alana.mccoy@duvallwa.gov

OPPORTUNITY FOR PUBLIC COMMENT

Any interested person may send written comments about this application to Troy Davis, Senior Planner, City of Duvall, P.O. Box 1300, Duvall, WA 98019, or by submitting to City of Duvall Planning Department, 15535 Main Street N.E., Duvall, Washington, or by email at troy.davis@duvallwa.gov. **Comments will be accepted until 4:30 P.M on April 2, 2020.**

PUBLIC HEARINGS ON THIS PROJECT

This is a Type II permit application which requires a decision from the City's Community Development Director. Public hearings are not required for Type II permit applications.

WHAT PERMITS WOULD THIS PROJECT NEED? WHAT STUDIES HAVE BEEN REQUESTED?

Site Plan Review, Construction Drawing Approval, Right-of-Way Permit.

WHAT CITY OF DUVALL REGULATIONS WILL APPLY TO THIS PROJECT?

2015 City of Duvall Comprehensive Plan, Duvall Municipal Code, and Public Works Design Standards

ARE THERE ANY EXISTING ENVIRONMENTAL REPORTS OR DOCUMENTS THAT EVALUATE THIS PROJECT?

State Environmental Policy Act Environmental Checklist (SEPA), Tree Retention Plan

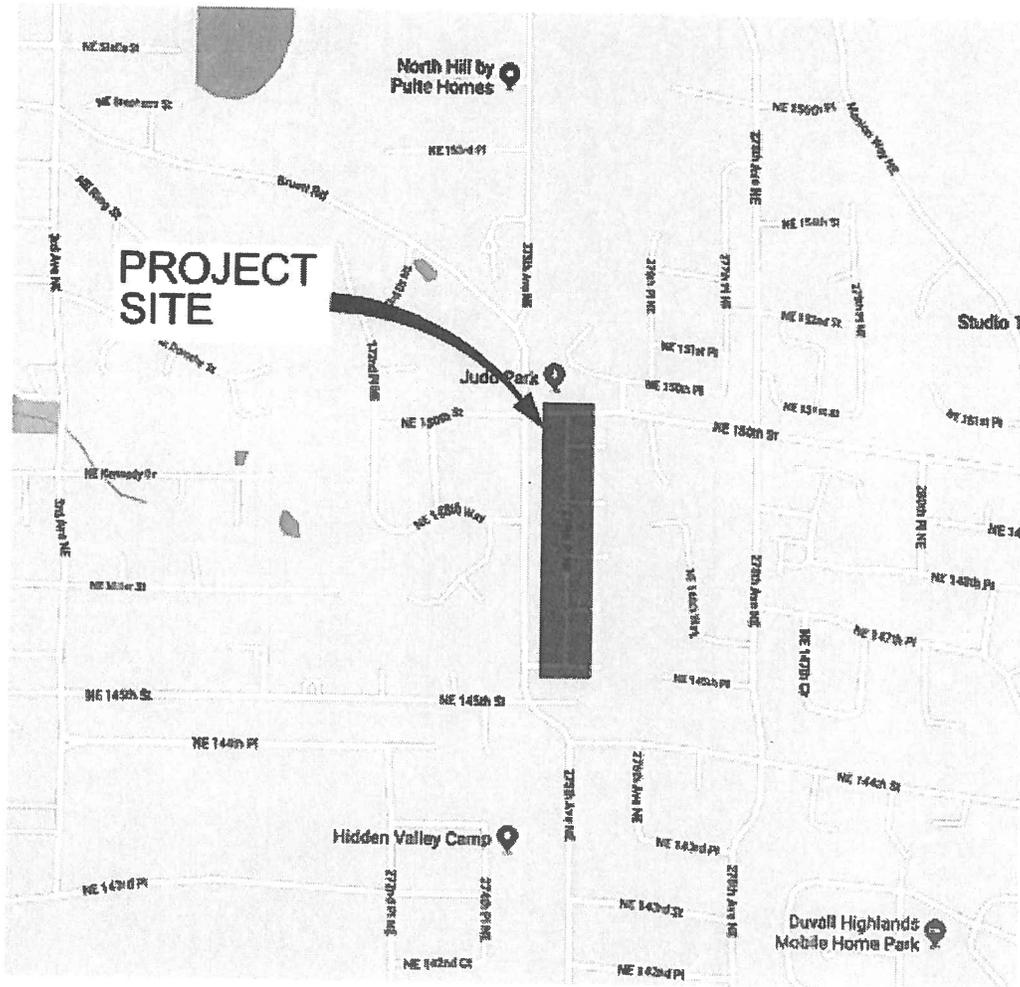
FILE REVIEW / APPEALS

Anyone may view the contents of the application file by first filing a public records request with the City Clerk at (425) 939-8088. The application file for this project is available at City Hall, located at 15535 Main Street NE in Duvall. You may request a copy of any decision, information on hearings, and your appeal rights by calling the Planning Department at (425) 788-2779.

Lara Thomas
FOR Lara Thomas, Community Development Director

3/19/20
Issuance Date

VICINITY MAP





City of Duvall

Small Town. Real Life.

NOTICE OF APPLICATION

275th AVE NE COMPLETE STREET PROJECT

File No SPR20-002

The City of Duvall is proposing to install approximately 1,200 linear feet of sidewalk along 275th Ave NE from NE 145th Lane to NE 150th Street (14500 to 15000 blocks of NE 275th Ave NE) within existing right-of-way inclusive of up to three activity stations and intersection improvements at NE 150th Street.

For Further Information:

Applicant
Alana McCoy
Public Works Department
14525 Main Street NE, Duvall
(425) 939-8045
alana.mccoy@duvallwa.gov



www.duvallwa.gov

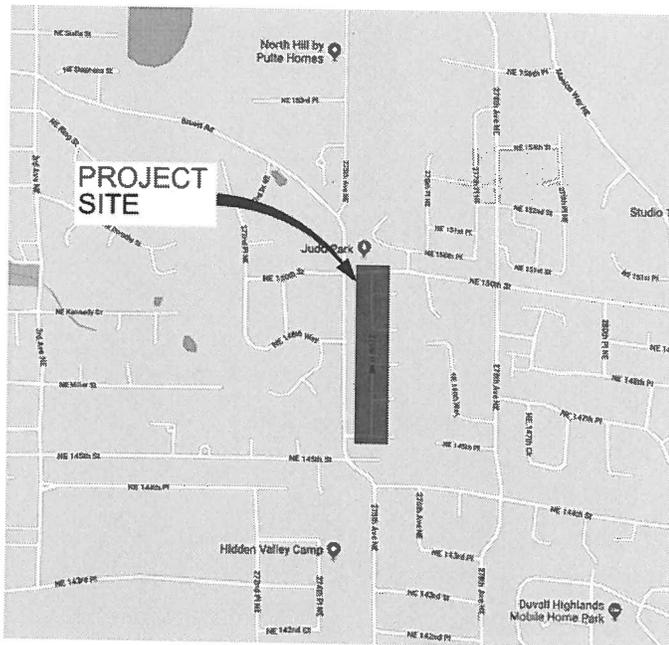
City Contact
Troy Davis
Planning Department
15535 Main St NE, Duvall
(425) 788-2779
troy.davis@duvallwa.gov



City of Duvall
PO Box 1300
Duvall, WA 98019

Small Town. Real Life.

VICINITY MAP



NOTICE OF APPLICATION

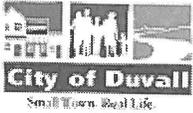
Resident
14601 275TH AVE NE
DUVALL, WA 98019

Troy Davis

From: Troy Davis
Sent: Thursday, March 19, 2020 12:31 PM
To: Alana McCoy
Cc: Steven Leniszewski
Subject: City of Duvall - Notice of Application - 275th Ave NE Complete Street Project (SPR20-002)
Attachments: 200319 NOA_SPR20-002.pdf

Hi Alana-

Please see attached Notice of Application that was sent out today.



Community Development
Planning Department



Troy Davis

Senior Planner

Office: 425.788.2779

Direct: 425.939.8078

PO Box 1300
15535 Main Street NE
Duvall, WA 98019

www.duvallwa.gov

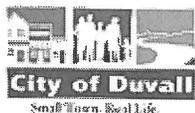
NOTICE OF PUBLIC DISCLOSURE: This e-mail account is public domain. Any correspondence from or to this e-mail account is a public record. Accordingly, this e-mail, in whole or in part, may be subject to disclosure pursuant to RCW 42.56, regardless of any claim of confidentiality or privilege asserted by an external party.

Troy Davis

From: Troy Davis
Sent: Thursday, March 19, 2020 12:33 PM
To: City Council Distribution
Cc: Planning Commissioners
Subject: City of Duvall - Notice of Application - 275th Ave NE Complete Street Project (SPR20-002)
Attachments: 200319 NOA_SPR20-002.pdf

Good Afternoon-

Please see the attached Notice of Application for the 275th Ave NE Complete Street Project.



Community Development
Planning Department



Troy Davis

Senior Planner

Office: 425.788.2779

Direct: 425.939.8078

PO Box 1300
15535 Main Street NE
Duvall, WA 98019

www.duvallwa.gov

NOTICE OF PUBLIC DISCLOSURE: This e-mail account is public domain. Any correspondence from or to this e-mail account is a public record. Accordingly, this e-mail, in whole or in part, may be subject to disclosure pursuant to RCW 42.56, regardless of any claim of confidentiality or privilege asserted by an external party.

Troy Davis

From: Troy Davis
Sent: Thursday, March 19, 2020 12:35 PM
To: Alana McCoy; Barry Kerth; Carey Hert; Charlene Andrade; Cindy Spiry; Dave Weiss; David Burke; Doug Peters; E Harris; Jacob Sheppard; Jim Ishimaru; John Greene; Kurt; Lara Thomas; Matt Baerwalde; Meisha Robertson; Melanie Young; Michael Remington; Ramin Pazooki; Ramon Locsin; SEPA Adesk; SEPA Center; SEPA Register; SEPA Unit; Shaun Tozer; Steve Mullen-Moses; Team Mill Creek; Ty Peterson; Wendy Gallagher
Subject: City of Duvall - Notice of Application - 275th Ave NE Complete Street Project (SPR20-002)
Attachments: 200319 NOA_SPR20-002.pdf

Dear Agency-

Please see the attached Notice of Application for the City's 275th Ave Complete Streets project. Please note you will be sent the SEPA Threshold Determination when it is issued.



Community Development
Planning Department



Troy Davis

Senior Planner

Office: 425.788.2779

Direct: 425.939.8078

PO Box 1300

15535 Main Street NE

Duvall, WA 98019

www.duvallwa.gov

NOTICE OF PUBLIC DISCLOSURE: This e-mail account is public domain. Any correspondence from or to this e-mail account is a public record. Accordingly, this e-mail, in whole or in part, may be subject to disclosure pursuant to RCW 42.56, regardless of any claim of confidentiality or privilege asserted by an external party.

Resident	15406 275TH AVE NE	DUVALL, WA	98019
Resident	14601 275TH AVE NE	DUVALL, WA	98019
Resident	14515 275TH AVE NE	DUVALL, WA	98019
Resident	14903 275TH AVE NE	DUVALL, WA	98019
Resident	14907 275TH AVE NE	DUVALL, WA	98019
Resident	14825 275TH AVE NE	DUVALL, WA	98019
Resident	27411 NE 150TH ST	DUVALL, WA	98019
Resident	27405 NE 150TH ST	DUVALL, WA	98019
Resident	14905 275TH AVE NE	DUVALL, WA	98019
Resident	27616 NE 145TH PL	DUVALL, WA	98019
Resident	27610 NE 145TH PL	DUVALL, WA	98019
Resident	27611 NE 145TH PL	DUVALL, WA	98019
Resident	27617 NE 145TH PL	DUVALL, WA	98019
Resident	27629 NE 145TH PL	DUVALL, WA	98019
Resident	27509 NE 150TH PL	DUVALL, WA	98019
Resident	27515 NE 150TH PL	DUVALL, WA	98019
Resident	27523 NE 150TH PL	DUVALL, WA	98019
Resident	27529 NE 150TH PL	DUVALL, WA	98019
Resident	27530 NE 150TH PL	DUVALL, WA	98019
Resident	27524 NE 150TH PL	DUVALL, WA	98019
Resident	27516 NE 150TH PL	DUVALL, WA	98019
Resident	15106 275TH CT NE	DUVALL, WA	98019
Resident	15115 275TH CT NE	DUVALL, WA	98019
Resident	15031 275TH CT NE	DUVALL, WA	98019
Resident	15105 276TH PL NE	DUVALL, WA	98019
Resident	15029 276TH PL NE	DUVALL, WA	98019
Resident	15021 276TH PL NE	DUVALL, WA	98019
Resident	27603 NE 150TH PL	DUVALL, WA	98019
Resident	27609 NE 150TH PL	DUVALL, WA	98019
Resident	27613 NE 150TH PL	DUVALL, WA	98019
Resident	27619 NE 150TH PL	DUVALL, WA	98019
Resident	27623 NE 150TH PL	DUVALL, WA	98019
Resident	14505 273RD PL NE	DUVALL, WA	98019
Resident	14511 273RD PL NE	DUVALL, WA	98019
Resident	14517 273RD PL NE	DUVALL, WA	98019
Resident	14518 273RD PL NE	DUVALL, WA	98019
Resident	14516 273RD PL NE	DUVALL, WA	98019
Resident	14508 273RD PL NE	DUVALL, WA	98019
Resident	14504 273RD PL NE	DUVALL, WA	98019
Resident	14329 275TH AVE NE	DUVALL, WA	98019
Resident	14332 275TH AVE NE	DUVALL, WA	98019
Resident	14340 275TH AVE NE	DUVALL, WA	98019
Resident	27520 NE 144TH ST	DUVALL, WA	98019
Resident	27302 NE 144TH PL	DUVALL, WA	98019
Resident	27322 NE 144TH PL	DUVALL, WA	98019
Resident	27323 NE 144TH PL	DUVALL, WA	98019
Resident	27530 NE 144TH ST	DUVALL, WA	98019

Resident	27606 NE 144TH ST	DUVALL, WA	98019
Resident	27620 NE 144TH ST	DUVALL, WA	98019
Resident	14325 276TH AVE NE	DUVALL, WA	98019
Resident	14331 276TH AVE NE	DUVALL, WA	98019
Resident	14432 274TH CT NE	DUVALL, WA	98019
Resident	14412 274TH CT NE	DUVALL, WA	98019
Resident	14420 274TH CT NE	DUVALL, WA	98019
Resident	14406 274TH CT NE	DUVALL, WA	98019
Resident	14405 274TH CT NE	DUVALL, WA	98019
Resident	27700 NE 146TH WAY	DUVALL, WA	98019
Resident	27612 NE 146TH WAY	DUVALL, WA	98019
Resident	27610 NE 146TH WAY	DUVALL, WA	98019
Resident	27608 NE 146TH WAY	DUVALL, WA	98019
Resident	27604 NE 146TH WAY	DUVALL, WA	98019
Resident	27601 NE 146TH WAY	DUVALL, WA	98019
Resident	27603 NE 146TH WAY	DUVALL, WA	98019
Resident	27605 NE 146TH WAY	DUVALL, WA	98019
Resident	27607 NE 146TH WAY	DUVALL, WA	98019
Resident	27609 NE 146TH WAY	DUVALL, WA	98019
Resident	27611 NE 146TH WAY	DUVALL, WA	98019
Resident	27713 NE 146TH WAY	DUVALL, WA	98019
Resident	27715 NE 146TH WAY	DUVALL, WA	98019
Resident	27717 NE 146TH WAY	DUVALL, WA	98019
Resident	27719 NE 146TH WAY	DUVALL, WA	98019
Resident	14907 275TH PL NE	DUVALL, WA	98019
Resident	14831 275TH PL NE	DUVALL, WA	98019
Resident	14805 275TH PL NE	DUVALL, WA	98019
Resident	14715 275TH PL NE	DUVALL, WA	98019
Resident	14703 275TH PL NE	DUVALL, WA	98019
Resident	14611 275TH PL NE	DUVALL, WA	98019
Resident	14533 275TH PL NE	DUVALL, WA	98019
Resident	14509 275TH PL NE	DUVALL, WA	98019
Resident	27505 NE 145TH LN	DUVALL, WA	98019
Resident	27517 NE 145TH LN	DUVALL, WA	98019
Resident	27521 NE 145TH LN	DUVALL, WA	98019
Resident	27520 NE 145TH LN	DUVALL, WA	98019
Resident	27521 NE 146TH LN	DUVALL, WA	98019
Resident	27522 NE 146TH LN	DUVALL, WA	98019
Resident	27519 NE 147TH LN	DUVALL, WA	98019
Resident	27518 NE 147TH LN	DUVALL, WA	98019
Resident	27517 NE 148TH LN	DUVALL, WA	98019
Resident	27516 NE 148TH LN	DUVALL, WA	98019
Resident	27515 NE 149TH LN	DUVALL, WA	98019
Resident	27514 NE 149TH LN	DUVALL, WA	98019
Resident	27532 NE 149TH LN	DUVALL, WA	98019
Resident	27531 NE 149TH LN	DUVALL, WA	98019
Resident	27530 NE 148TH LN	DUVALL, WA	98019

Resident	27529 NE 148TH LN	DUVALL, WA	98019
Resident	27524 NE 147TH LN	DUVALL, WA	98019
Resident	27523 NE 147TH LN	DUVALL, WA	98019
Resident	27528 NE 146TH LN	DUVALL, WA	98019
Resident	27527 NE 146TH LN	DUVALL, WA	98019
Resident	27526 NE 145TH LN	DUVALL, WA	98019
Resident	27525 NE 145TH LN	DUVALL, WA	98019
Resident	27305 NE 148TH WAY	DUVALL, WA	98019
Resident	27313 NE 148TH WAY	DUVALL, WA	98019
Resident	27321 NE 148TH WAY	DUVALL, WA	98019
Resident	14723 274TH WAY NE	DUVALL, WA	98019
Resident	14709 274TH WAY NE	DUVALL, WA	98019
Resident	14701 274TH WAY NE	DUVALL, WA	98019
Resident	27324 NE 146TH PL	DUVALL, WA	98019
Resident	27312 NE 146TH PL	DUVALL, WA	98019
Resident	27321 NE 146TH PL	DUVALL, WA	98019
Resident	27327 NE 146TH PL	DUVALL, WA	98019
Resident	27333 NE 146TH PL	DUVALL, WA	98019
Resident	27407 NE 147TH CT	DUVALL, WA	98019
Resident	27417 NE 147TH CT	DUVALL, WA	98019
Resident	27425 NE 147TH CT	DUVALL, WA	98019
Resident	27424 NE 147TH CT	DUVALL, WA	98019
Resident	27416 NE 147TH CT	DUVALL, WA	98019
Resident	27408 NE 147TH CT	DUVALL, WA	98019
Resident	14716 274TH WAY NE	DUVALL, WA	98019
Resident	14722 274TH WAY NE	DUVALL, WA	98019
Resident	27415 NE 148TH WAY	DUVALL, WA	98019
Resident	27330 NE 148TH WAY	DUVALL, WA	98019
Resident	27322 NE 148TH WAY	DUVALL, WA	98019
Resident	14828 273RD PL NE	DUVALL, WA	98019
Resident	14902 273RD PL NE	DUVALL, WA	98019
Resident	14914 273RD PL NE	DUVALL, WA	98019
Resident	14922 273RD PL NE	DUVALL, WA	98019
Resident	14930 273RD PL NE	DUVALL, WA	98019
Resident	27428 NE 150TH ST	DUVALL, WA	98019
Resident	27420 NE 150TH ST	DUVALL, WA	98019
Resident	27410 NE 150TH ST	DUVALL, WA	98019
Resident	27402 NE 150TH ST	DUVALL, WA	98019
Resident	27324 NE 150TH ST	DUVALL, WA	98019
Resident	27315 NE 151ST PL	DUVALL, WA	98019
Resident	14933 276TH PL NE	DUVALL, WA	98019
Resident	14925 276TH PL NE	DUVALL, WA	98019
Resident	14919 276TH PL NE	DUVALL, WA	98019
Resident	14915 276TH PL NE	DUVALL, WA	98019
Resident	14911 276TH PL NE	DUVALL, WA	98019
Resident	14905 276TH PL NE	DUVALL, WA	98019
Resident	14902 276TH PL NE	DUVALL, WA	98019

Resident	14914 276TH PL NE	DUVALL, WA	98019
Resident	14920 276TH PL NE	DUVALL, WA	98019
Resident	14926 276TH PL NE	DUVALL, WA	98019
Resident	14932 276TH PL NE	DUVALL, WA	98019

Resident 15406 275TH AVE NE DUVALL, WA 98019
Resident 14601 275TH AVE NE DUVALL, WA 98019
Resident 14515 275TH AVE NE DUVALL, WA 98019
Resident 14903 275TH AVE NE DUVALL, WA 98019
Resident 14907 275TH AVE NE DUVALL, WA 98019
Resident 14825 275TH AVE NE DUVALL, WA 98019
Resident 27411 NE 150TH ST DUVALL, WA 98019
Resident 27405 NE 150TH ST DUVALL, WA 98019
Resident 14905 275TH AVE NE DUVALL, WA 98019
Resident 27616 NE 145TH PL DUVALL, WA 98019
Resident 27610 NE 145TH PL DUVALL, WA 98019
Resident 27611 NE 145TH PL DUVALL, WA 98019
Resident 27617 NE 145TH PL DUVALL, WA 98019
Resident 27629 NE 145TH PL DUVALL, WA 98019
Resident 27509 NE 150TH PL DUVALL, WA 98019
Resident 27515 NE 150TH PL DUVALL, WA 98019
Resident 27523 NE 150TH PL DUVALL, WA 98019
Resident 27529 NE 150TH PL DUVALL, WA 98019
Resident 27530 NE 150TH PL DUVALL, WA 98019
Resident 27524 NE 150TH PL DUVALL, WA 98019
Resident 27516 NE 150TH PL DUVALL, WA 98019
Resident 15106 275TH CT NE DUVALL, WA 98019
Resident 15115 275TH CT NE DUVALL, WA 98019
Resident 15031 275TH CT NE DUVALL, WA 98019
Resident 15105 276TH PL NE DUVALL, WA 98019
Resident 15029 276TH PL NE DUVALL, WA 98019
Resident 15021 276TH PL NE DUVALL, WA 98019
Resident 27603 NE 150TH PL DUVALL, WA 98019
Resident 27609 NE 150TH PL DUVALL, WA 98019
Resident 27613 NE 150TH PL DUVALL, WA 98019
Resident 27619 NE 150TH PL DUVALL, WA 98019
Resident 27623 NE 150TH PL DUVALL, WA 98019
Resident 14505 273RD PL NE DUVALL, WA 98019
Resident 14511 273RD PL NE DUVALL, WA 98019
Resident 14517 273RD PL NE DUVALL, WA 98019
Resident 14518 273RD PL NE DUVALL, WA 98019
Resident 14516 273RD PL NE DUVALL, WA 98019
Resident 14508 273RD PL NE DUVALL, WA 98019
Resident 14504 273RD PL NE DUVALL, WA 98019
Resident 14329 275TH AVE NE DUVALL, WA 98019
Resident 14332 275TH AVE NE DUVALL, WA 98019
Resident 14340 275TH AVE NE DUVALL, WA 98019
Resident 27520 NE 144TH ST DUVALL, WA 98019
Resident 27302 NE 144TH PL DUVALL, WA 98019
Resident 27322 NE 144TH PL DUVALL, WA 98019
Resident 27323 NE 144TH PL DUVALL, WA 98019
Resident 27530 NE 144TH ST DUVALL, WA 98019

Resident 27606 NE 144TH ST DUVALL, WA 98019
Resident 27620 NE 144TH ST DUVALL, WA 98019
Resident 14325 276TH AVE NE DUVALL, WA 98019
Resident 14331 276TH AVE NE DUVALL, WA 98019
Resident 14432 274TH CT NE DUVALL, WA 98019
Resident 14412 274TH CT NE DUVALL, WA 98019
Resident 14420 274TH CT NE DUVALL, WA 98019
Resident 14406 274TH CT NE DUVALL, WA 98019
Resident 14405 274TH CT NE DUVALL, WA 98019
Resident 27700 NE 146TH WAY DUVALL, WA 98019
Resident 27612 NE 146TH WAY DUVALL, WA 98019
Resident 27610 NE 146TH WAY DUVALL, WA 98019
Resident 27608 NE 146TH WAY DUVALL, WA 98019
Resident 27604 NE 146TH WAY DUVALL, WA 98019
Resident 27601 NE 146TH WAY DUVALL, WA 98019
Resident 27603 NE 146TH WAY DUVALL, WA 98019
Resident 27605 NE 146TH WAY DUVALL, WA 98019
Resident 27607 NE 146TH WAY DUVALL, WA 98019
Resident 27609 NE 146TH WAY DUVALL, WA 98019
Resident 27611 NE 146TH WAY DUVALL, WA 98019
Resident 27713 NE 146TH WAY DUVALL, WA 98019
Resident 27715 NE 146TH WAY DUVALL, WA 98019
Resident 27717 NE 146TH WAY DUVALL, WA 98019
Resident 27719 NE 146TH WAY DUVALL, WA 98019
Resident 14907 275TH PL NE DUVALL, WA 98019
Resident 14831 275TH PL NE DUVALL, WA 98019
Resident 14805 275TH PL NE DUVALL, WA 98019
Resident 14715 275TH PL NE DUVALL, WA 98019
Resident 14703 275TH PL NE DUVALL, WA 98019
Resident 14611 275TH PL NE DUVALL, WA 98019
Resident 14533 275TH PL NE DUVALL, WA 98019
Resident 14509 275TH PL NE DUVALL, WA 98019
Resident 27505 NE 145TH LN DUVALL, WA 98019
Resident 27517 NE 145TH LN DUVALL, WA 98019
Resident 27521 NE 145TH LN DUVALL, WA 98019
Resident 27520 NE 145TH LN DUVALL, WA 98019
Resident 27521 NE 146TH LN DUVALL, WA 98019
Resident 27522 NE 146TH LN DUVALL, WA 98019
Resident 27519 NE 147TH LN DUVALL, WA 98019
Resident 27518 NE 147TH LN DUVALL, WA 98019
Resident 27517 NE 148TH LN DUVALL, WA 98019
Resident 27516 NE 148TH LN DUVALL, WA 98019
Resident 27515 NE 149TH LN DUVALL, WA 98019
Resident 27514 NE 149TH LN DUVALL, WA 98019
Resident 27532 NE 149TH LN DUVALL, WA 98019
Resident 27531 NE 149TH LN DUVALL, WA 98019
Resident 27530 NE 148TH LN DUVALL, WA 98019

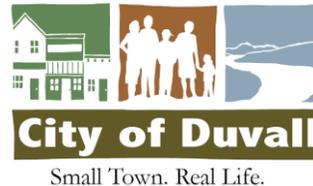
Resident 27529 NE 148TH LN DUVALL, WA 98019
Resident 27524 NE 147TH LN DUVALL, WA 98019
Resident 27523 NE 147TH LN DUVALL, WA 98019
Resident 27528 NE 146TH LN DUVALL, WA 98019
Resident 27527 NE 146TH LN DUVALL, WA 98019
Resident 27526 NE 145TH LN DUVALL, WA 98019
Resident 27525 NE 145TH LN DUVALL, WA 98019
Resident 27305 NE 148TH WAY DUVALL, WA 98019
Resident 27313 NE 148TH WAY DUVALL, WA 98019
Resident 27321 NE 148TH WAY DUVALL, WA 98019
Resident 14723 274TH WAY NE DUVALL, WA 98019
Resident 14709 274TH WAY NE DUVALL, WA 98019
Resident 14701 274TH WAY NE DUVALL, WA 98019
Resident 27324 NE 146TH PL DUVALL, WA 98019
Resident 27312 NE 146TH PL DUVALL, WA 98019
Resident 27321 NE 146TH PL DUVALL, WA 98019
Resident 27327 NE 146TH PL DUVALL, WA 98019
Resident 27333 NE 146TH PL DUVALL, WA 98019
Resident 27407 NE 147TH CT DUVALL, WA 98019
Resident 27417 NE 147TH CT DUVALL, WA 98019
Resident 27425 NE 147TH CT DUVALL, WA 98019
Resident 27424 NE 147TH CT DUVALL, WA 98019
Resident 27416 NE 147TH CT DUVALL, WA 98019
Resident 27408 NE 147TH CT DUVALL, WA 98019
Resident 14716 274TH WAY NE DUVALL, WA 98019
Resident 14722 274TH WAY NE DUVALL, WA 98019
Resident 27415 NE 148TH WAY DUVALL, WA 98019
Resident 27330 NE 148TH WAY DUVALL, WA 98019
Resident 27322 NE 148TH WAY DUVALL, WA 98019
Resident 14828 273RD PL NE DUVALL, WA 98019
Resident 14902 273RD PL NE DUVALL, WA 98019
Resident 14914 273RD PL NE DUVALL, WA 98019
Resident 14922 273RD PL NE DUVALL, WA 98019
Resident 14930 273RD PL NE DUVALL, WA 98019
Resident 27428 NE 150TH ST DUVALL, WA 98019
Resident 27420 NE 150TH ST DUVALL, WA 98019
Resident 27410 NE 150TH ST DUVALL, WA 98019
Resident 27402 NE 150TH ST DUVALL, WA 98019
Resident 27324 NE 150TH ST DUVALL, WA 98019
Resident 27315 NE 151ST PL DUVALL, WA 98019
Resident 14933 276TH PL NE DUVALL, WA 98019
Resident 14925 276TH PL NE DUVALL, WA 98019
Resident 14919 276TH PL NE DUVALL, WA 98019
Resident 14915 276TH PL NE DUVALL, WA 98019
Resident 14911 276TH PL NE DUVALL, WA 98019
Resident 14905 276TH PL NE DUVALL, WA 98019
Resident 14902 276TH PL NE DUVALL, WA 98019

Resident 14914 276TH PL NE DUVALL, WA 98019

Resident 14920 276TH PL NE DUVALL, WA 98019

Resident 14926 276TH PL NE DUVALL, WA 98019

Resident 14932 276TH PL NE DUVALL, WA 98019



Public Works Department

To: Lara Thomas, Interim City Administrator
From: Steve Leniszewski, PE, Public Works Director
Date: June 9, 2020
Subject: 275th Avenue Complete Streets, Project SPR20-002, Public Works Response
 To SEPA Comments

City staff appreciate comments from the community and not only are we here to run and build our infrastructure, we are here to share our expertise and educate when the opportunity arises. In this case we are happy to share, inform and educate citizenry.

During the project design, implementation and comment period, comments, questions and concerns were submitted by citizens of Duvall. We will address each comment below. We will not address the comments of support for the sidewalk extension OR activity stations as that isn't necessary, but appreciated.

1. Commenter: Cynthia Schommer, 14715 275th Place NE, Duvall, WA 98019. June 1, 2020

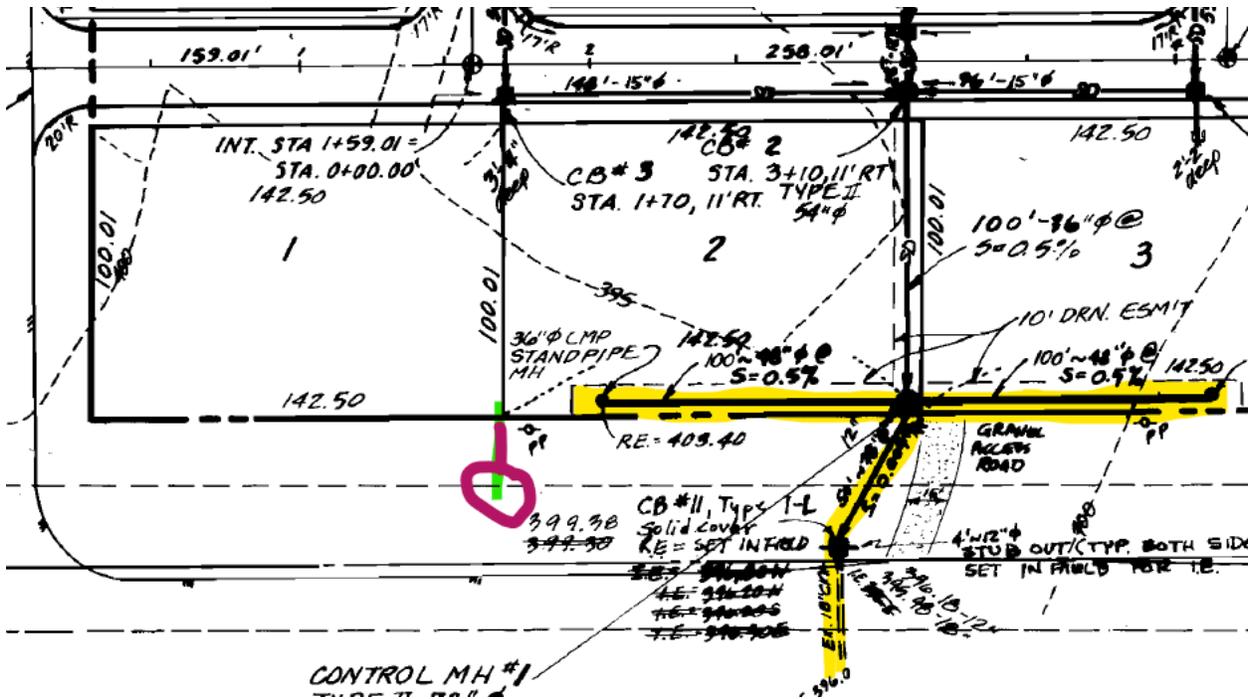
B. Environment Elements, 3. Water, c. Water runoff (including storm water):
 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site?

SEPA Environmental Checklist: Drainage patterns on site or the vicinity will not be altered.

Cynthia Schommer response: *Yes, see attached pictures below. Black drainpipe is visible on the east side of the project, located at the lot line between Lot 1 and Lot 2 of Highland Grove. This pipe drains storm water into the edge of the project location and this drainage will be impacted by this project.*

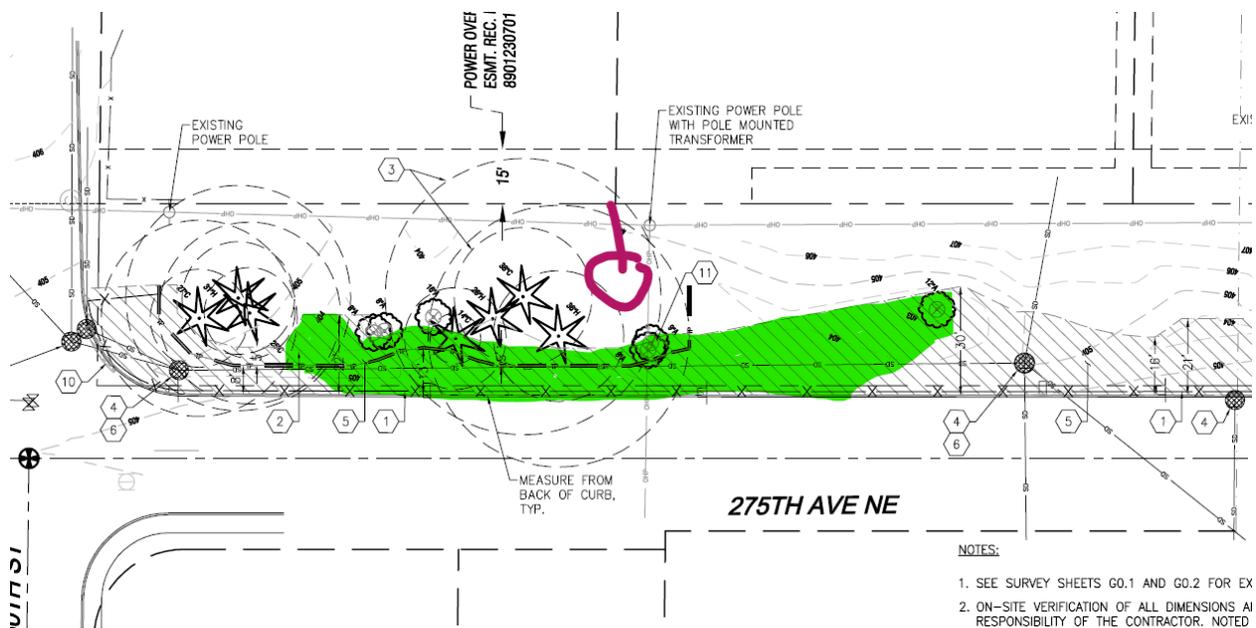


Public Works response: There is no grading proposed in this area. Had the blackberries not been removed we never would have found this orphan drain pipe. The area is fed by a 12-inch CPEP storm pipe that is not located on City as-builts nor was it found in the project survey. It may be from construction of the adjacent subdivision?? It looks to maybe have been installed by a property owner at some point in time.



The water appears during rain events and then disappears relatively shortly thereafter. You can see in the as-built image below that the storm system detention pipes are in the rear yard of lot #2 and discharge (as surveyed) between lots 2 & 3, not 1 & 2 where this mystery pipe is. There is no grading planned in this area as shown in the clip below (highlighted green area relative to pipe and wet spot).

Public Works appreciates the citizens comment; however, we have no impact on the area.



2. Commenter: Cynthia Schommer, 14715 275th Place NE, Duvall, WA 98019. June 1, 2020

7. Environment Health, a., 3. Describe any toxic or hazardous chemicals that might be stored, used or produced during the project's development or constructions, or at any time during the operating life of the project.

SEPA Environmental Checklist: None known.

Cynthia Schommer response: *Per applicants' submitted plan set, page LO.1, notes section: "Note 11: Knotweed and blackberry shall be treated with an approved non-selective, non-residual herbicide of a minimum of two times prior to planning. The second application of herbicide shall be made after a minimum of six weeks or when the remaining knotweed and blackberry have grown to a height of 6 to 12 inches, whichever is earlier."*

The city has cleared outside the 30 foot width of the projects licensed boundary from Puget Sound Energy and has indicated it will continue to maintain the entire 50 foot width. Our concern is the herbicide placement outside the 30 foot project boundary due to the applicant's comments in section 4.b indicating they will be maintaining the entire 50 foot width. If the herbicide is placed across the entire width, seepage and overspray will affect/kill the existing vegetation of lot owners to the east of the property along the fence line on their property.

Public Works response: Good news is that there has not been any Japanese knotweed identified in the project corridor. The paperwork you reference was a recommendation from the landscape architect. The City's intention is to remove the blackberries through routine mowing to eradicate and not utilize any herbicides or let the blackberries go back to how they were if we must.

3. Commenter: Cynthia Schommer, 14715 275th Place NE, Duvall, WA 98019. June 1, 2020

10. Aesthetics, b. What views in the immediate area will be altered or obstructed?

SEPA Environmental Checklist: No views in the immediate vicinity would be altered or obstructed.

Cynthia Schommer response: *Removal of existing trees will affect our existing tree line view. The existing green space also provides shading and buffering of traffic noise.*

Public Works response: The trees identified for removal are not regulated by city code. The trees are deciduous and have no leaf material on them during the typically colder six months of the year.

The property is owned by Puget Sound Energy (PSE) and not private property or subject to any conditions or view / tree covenants. The evergreen trees identified on the plans and in the project corridor are not going to be affected and will remain. PSE has maintained and removed trees on their property over the past thirty years which is also an important corridor for electrical power transmission.

4. Commenter: Cynthia Schommer, 14715 275th Place NE, Duvall, WA 98019. June 1, 2020

10. Aesthetics, c. Proposed measures to reduce or control aesthetic impacts, if any.

SEPA Environmental Checklist: No impacts.

Cynthia Schommer response: City indicates no impacts. Please see our response on 10. b above.

Public Works response: The City will replant street trees of an appropriate species and as per required of city code and development design standards. The tree type also must be approved by PSE for their adjacency to the powerlines. Additionally, the removal of waste, debris, rodents and of blackberries which are a non-native invasive species is proposed to occur.

5. Commenter: Cynthia Schommer, 14715 275th Place NE, Duvall, WA 98019. June 1, 2020

15. Public Services, a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)?

SEPA Environmental Checklist: The project will not result in an increased need for public services.

Cynthia Schommer response: Yes, public services will increase as the applicant will now have to maintain the project area. The current license by Puget Sound Energy issued to the city only allows use of the westerly 30 foot width of the entire 50 foot width easement. City indicates in section 4. b the city plans to maintain the entire 50 foot width – outside their licensed area.

Public Works response: Technically there will not be an increase to services for the project outside of incidents that occur on the sidewalk which is typical throughout the city (fire and EMS for falls and trips on and off of a sidewalk) and maintenance needs will be required and were expected / planned for.

The City is allowed to maintain within the entire corridor should it be necessary however we expect to routinely maintain the improved 30 foot of land and then periodically maintain the blackberry area which over time will take less management as grasses or low maintenance ground cover take over once the blackberries are eradicated.

6. Commenter: On June 3, 2020, Comments were submitted by Heather Downing.

Animals. *I have witnessed several animals that have used this area for nesting & their homes. What is your plan for these animals? Here is a list of the animals I have seen over the past 17+ years: Western Golden Finch, Chirping Sparrow, Stellar's Jay, Bald Eagle, Pileated Woodpecker, Common Raven, Northern Flicker, Red-tailed Hawk, Great horned owl, Anna's hummingbird, Spotted Towhee, American Robin, Raccoon, Possum, variety of squirrels, variety of rabbits, coyote, deer and bobcat.*

Public Works response: The evergreen trees will remain, an area identified to have a "habitat" tree and its adjacent tree stand will remain and trees will be replanted.

7. Commenter: On June 3, 2020, Comments were submitted by Heather Downing.

Water. Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site?

Heather Downing response: *Yes, during clearing of project area a black storm drain was visible on the north end of the project between Lot 1 and 2 of the Highland Grove development. The pipe looks to drain storm water and would be impacted in the project area. This is a very wet area and how will water runoff including storm water be handled?*

Photos show black pipe exposed during dry weather and rainfall.



Public Works response: Please see response to same comment received within item #1 (above).

8. Commenter: On June 3, 2020, Comments were submitted by Heather Downing.

Environment Health

We are concerned of the use of herbicides outside of the 30' project boundary and used on the entire 5-foot width. By using herbicides on the entire 50' width this will pose to be a danger to resident's animals, their health and vegetation of those lot owners in Highland Grove that have a fence line along the East side of project area.

Public Works response: Please see response to same comment received within item #2 (above).

9. Commenter: On June 3, 2020, Comments were submitted by Heather Downing.

Aesthetics

By removing existing trees this will have an impact on homeowners in Highland Grove who back the project area. The vegetation and green space provide shade and buffering for traffic and pedestrian traffic.

Public Works response: Please see response to same comment received within item #4 (above).

10. Commenter: On June 3, 2020, Comments were submitted by Heather Downing.

Public Services

By clearing the entire 50' this will increase cost due to maintenance along with trash collection of the area by public services (Public Works Department). The current license gave permission from Puget Sound Energy the city to use of the westerly 30 feet of the entire 50-foot easement.

Public Works response: Please see response to same comment received within item #10 (above).

OTHER COMMENTS AND MESSAGES ALREADY RESPONDED TOO:

Beginning May 29, 2020 an email was received by Meghan Whitestone with questions and answered by Alana McCoy, Project Manager.

From: Alana McCoy
Sent: Monday, June 1, 2020 9:36 AM
To: Meghan Whitestone <megabyte31@gmail.com>
Subject: RE: 275th Sidewalk/Trail Improvements

Good Morning Meghan,

The City has obtained a lease / contract agreement with Puget Sound Energy (PSE) who owns the property where the sidewalk project is being proposed. This agreement allows the City to install sidewalk, landscape strips w/ street trees, activity stations and PSE approved landscaping (street trees and shrubs). The shrubs will be installed adjacent to improvements made away from the sidewalk (i.e. the activity stations and where we meander the sidewalk around the large maple tree). I've attached the landscape plans that show these locations.

There is no agreement for property owners to plant things on PSE's property other than what the City has been approved to do during the construction project shown in the project plans. PSE owns the land and does not allow plantings typically under the power lines which are fairly immediately adjacent to your subdivisions property lines.

The various boulders and stumps that were exposed recently when the blackberries and debris were removed are planned to remain on the property as landscape features. I hope this helps answer some of your questions.

Thanks,

Alana McCoy, Project Manager
P.O. Box 1300 | 14525 Main Street NE
Duvall, WA 98019
425-939-8045 | C 425-951-0379

From: Meghan Whitestone <megabyte31@gmail.com>
Sent: Friday, May 29, 2020 5:00 PM
To: Alana McCoy <alana.mccoy@duvallwa.gov>
Subject: Re: 275th Sidewalk/Trail Improvements

Hi Alana,

Wonderful! Thank you for your quick response and for answering my question! We have been excited about this since it was first announced :). We think it will make the area much nicer, and we like that Duvall is growing.

One of my neighbors who is involved in the project mentioned that we'd be allowed to plant things on the other side of our fence--who can I talk to about that?

Also, another question: what is going to happen to some of the boulders along that strip? There's a bunch of various sizes.

Thanks again!
Meghan

On Fri, May 29, 2020 at 3:04 PM Alana McCoy <alana.mccoy@duvallwa.gov> wrote:

Hi Meghan,

Thank you for your email regarding the planned improvement on 275th Avenue NE that is a grant funded "Complete Streets" project through the State of Washington Transportation Improvement Board.

The streetlamps that are proposed will only be installed at the intersections of NE 150th Street/275th and NE 145th Lane/275th. We have planned to install additional crosswalks with ADA ramps and lighting at these two intersections for safety improvements. The streetlamps would have shields on the backside to prevent direct lighting in the rear.

It is good to hear that you are happy with the improvements! Please let me know if you have any other questions or concerns.

Thanks and have a great weekend,

Alana McCoy, Project Manager
P.O. Box 1300 | 14525 Main Street NE
Duvall, WA 98019
425-939-8045 | C 425-951-0379

From: Meghan Whitestone <megabyte31@gmail.com>
Sent: Friday, May 29, 2020 2:16 PM
To: Alana McCoy <alana.mccoy@duvallwa.gov>
Subject: 275th Sidewalk/Trail Improvements

Hi Alana,

I'm writing to you because I received a notification about the planned trail on 275th, which runs directly behind our house. My husband and I are very excited about this, as we think it will be an excellent improvement to that space--thank you for putting this together! We walk around here frequently and the brambles have been annoying. It will be nice to be able to walk on both sides of the road.

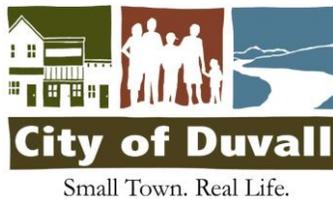
We did have one question/concern. This notice mentions possible streetlamps to be put in. Is this going to happen for sure, and if so, how many will be put in place? Most of the houses along this street have bedrooms

facing that road, and streetlamps would shine directly into them (especially as we have a two-story house and the bedroom is on the top floor).

All in all though, we are very happy with the improvements that are going to happen. We just don't want street lights :).

Thanks for your time!
Meghan Whitestone





PUBLIC WORKS DEPARTMENT
MEMORANDUM

TO: Lara Thomas, Interim City Administrator/Planning Director
FROM: Alana McCoy, Project Manager
DATE: 05-06-20
RE: 275th Avenue NE Complete Streets; Site Plan Review Permit Application Justification

This project is located on 275th Avenue NE between the intersections of NE 150th Street and NE 145th Lane and is within the Puget Sound Energy (PSE) 50' wide corridor on the east side of 275th Avenue NE.

The proposal will install approximately 1,200 linear feet of 6' wide concrete sidewalk in the PSE easement with a 5' landscape strip (except in areas where trees and slope require it to be moved behind the sidewalk), ADA ramp improvements, crosswalk improvement including striping, street tree installation and landscape shrubs.

The removal of all non-essential alders and cottonwood trees are included in the plans plus clearing of invasive Himalayan blackberries and some areas of grass, debris and garbage.

The project has features over and above those required of the sidewalk project and are included as "Alternate plans" for bidding purposes which will include:

1. The addition of three overhead cobra arm streetlights. Two at the NE 150th Street intersection and one at the NE 145th Lane intersection.
2. Solar powered Rectangular Rapid Flashing Beacons at the 275th Avenue NE crosswalk adjacent to Judd Park.
3. Installation of non-moving activity center with three stations of equipment.

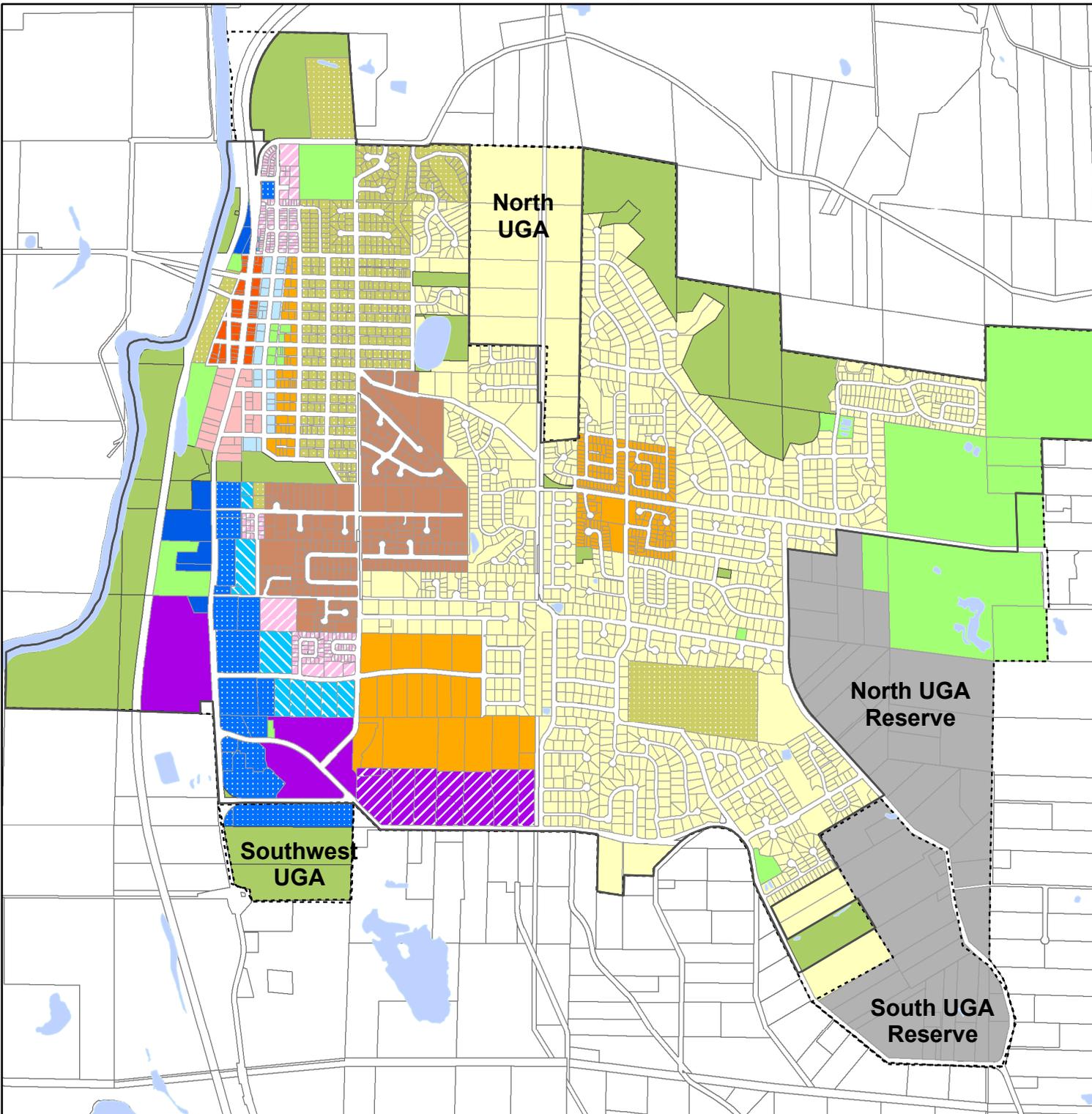
The project is consistent with the City's Comprehensive Plan under the Transportation Improvement element, 6-year TIP list program C-1, Non-Motorized Improvements, Sidewalk/Path/Trail Improvements, program to construct missing sidewalk links not covered by other projects. Additionally, the Parks, Trails and Open Space plan identifies goals specific to this projects location and are goals 5.1 and 5.4 which are being met.

The project is consistent with the Unified Development Regulations and follows the design guidelines in the Duvall Municipal Code Chapter 14.34 and 14.38 plus achieves the goal to improve and enrich the pedestrian environment by making it inviting, safer, and more comfortable to walk throughout the city; the space promotes walking both as a social activity and an alternative to driving; improves pedestrian connections to and from transit stops; and enhances pedestrian access and character of the street by establishing minimum sidewalk and pathway standards.

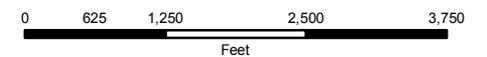
EXHIBIT 18

City of Duvall Official Zoning Map

Adopted by Ordinance 1245
Approved on December 4, 2018



- UGA
- R4 Residential 4 units per acre
- R4.5 Residential 4.5 units per acre
- R6 Residential 6 units per acre
- R8 Residential 8 units per acre
- R12 Residential 12 units per acre
- R20 Residential 20 units per acre
- OT Old Town-Mixed Use - retail, office and residential
- UT1 Uptown - 1st Avenue - retail, office and residential
- MT Midtown - commercial and office
- MU12 Mixed Use - commercial and residential
- MUI Mixed Use - Institutional
- CO Commercial - retail and office
- LI Light Industrial - Light Industrial and Office
- PF Public Facilities
- PO Parks and Open Space
- UGAR



City of Duvall
Small Town. Real Life.

City of Duvall 2018

The City makes no representation or warranty as to the product's accuracy or location of any map features therein. The City disclaims any warranty of merchantability or warranty for fitness or use for a particular purpose, expressed or implied, with respect to this product. For more information, contact the City of Duvall at 425.788.2779.



Urban Forestry Services

BARTLETT CONSULTING

Divisions of The F.A. Bartlett Tree Expert Company

ARBORIST NOTES

SITE: 275th Ave NE Complete Streets, Duvall Washington

PURPOSE: Review the arborist tree protection report and civil and landscape plans for code compliance and applicability to the site conditions.

PREPARED FOR: Troy Davis
14701 Main Street
Duvall WA, 98119

CC: Lara Thomas, City of Duvall
Steve Leniszewski, City of Duvall
Alana McCoy, City of Duvall

PREPARED BY: Urban Forestry Services | Bartlett Consulting
Anna Marie Heckman
ISA Board Certified Master Arborist® #PN-6153B
Tree Risk Assessment Qualified

DATE: May 19, 2020

Attachments: Modified silt fence detail
Mature tree care guidelines
Tree protection fence detail
Habitat Snag Creation Detail

Introduction:

The civil plans dated April 8, 2020 and the Final Tree Retention plan prepared by the Tree Resource Company dated April 10, 2020 were provided for arborist review for code compliance and potential tree protection conflicts. A site visit was conducted on May 11, 2020 with Steve and Alana from the Duvall Public Works in attendance. The site visit addressed some compliance items noted in the plans and identified additional issues that will impact the success of this project. Observations from the site visit are incorporated into the following review of the developer's arborist report and civil plan. Recommendations requiring action or response are incorporated into the DRC routing comment sheet filed separately.

15119 McLean Road
Mount Vernon, WA 98273

Office: 360.428.5810
Fax: 360.428.1822
Cell: 360.770.9921

Site Visit Observations and Recommendations:

At the time of the site visit Puget Sound Energy (PSE) tree trimmers had cleared vegetation directly below the power lines on the eastern side of the easement against the fences, removed some larger trees and pruned others. Multiple areas within the utility easement remain unpruned from under and near the lines. Access was not created to individual power poles, and many large black cottonwood trees and smaller alder, willow and vine maple within the easement were not removed. These trees were considered non-significant by the City and were not accounted for in the plan sets for the Complete Streets Renovation. Many of these trees are too large for the Public Works department to safely remove, and if retained, the planned construction will likely impact their health and stability.

Blackberry clearing was completed through the site under the Public Works guidance. Some rocks and old stumps were found that will impact the sidewalk design. Tree protection for the proposed retained and exceptional trees was not set up prior to or during the vegetation clearance on the site, and the blackberry removal has increased the openness between the existing street and private properties. This has resulted in public questions and concerns.

To address the issues identified from the site visit, the following recommendations are provided.

Recommendations:

- 1 Confirm with PSE if their work is completed and the remaining non-significant trees are the responsibility of the City. PSE may engage further with communication of the ROW Plans.
- 2 Confirm with PSE that any remaining trees within the easement can be removed for construction, and what the process is for removal of high risk trees after construction impact.
- 3 The developer's arborist should document the risk and construction impacts for all the large cottonwood trees on the site prior to final decisions for removal.
 - Trees with a known high risk should be clearly defined and removed prior to construction.
 - Trees that will likely be significantly impacted by the project design should be clearly defined. If design changes or tree protection cannot be adapted to minimize impact, these trees may require removal or habitat snag creation.
 - Provide tree protection guidance for all trees that can be retained and monitored through the construction process.

- 4 Flag any small non- significant trees that can be retained with the current design and arborist report. The willow nurse log, any single stem alders, or trees located inside the protection area of exceptional trees are examples.
- 5 Install temporary tree protection along the CRZ of all retained trees. This is not the same as the designed tree protection zone (TPZ) currently defined on the development plans. Adjustments can be made by a Certified Arborist on site.
- 6 Many smaller alders growing in clumps near the road are poor specimens for long term retention. These should be removed to allow for the planter strip development and new street tree planting.
- 7 Remove other smaller and dead trees from the site. Black locust (*Robinia pseudoacacia*) trees may require chemical treatment or extensive stump grinding to prevent stump and root re-sprouting.
- 8 Ensure all work within the tree protection areas is conducted to protect the canopy, trunk, and roots of the retained trees.
- 9 Place wood chips inside the temporary Tree Protection Zones at a depth of 6 to 8- inches to protect soil and roots, and provide water to all large trees through the dry periods of construction. See the attached *Mature Tree Care* and *Tree Protection Fence* guidance for further information.
- 10 Woodchips can be placed to cover blackberry in other landscape areas, however follow up control will be required over a number of years to control any recurring blackberry growth. The following links provide detailed methods:
 - <https://your.kingcounty.gov/dnrp/library/water-and-land/weeds/BMPs/blackberry-control.pdf>
 - <https://www.invasive.org/gist/moredocs/rubarm01.pdf>
- 11 Ensure all trees removed from the site are accounted for in new plans to decrease canopy loss on the site.
- 12 Communicate any plan changes and landscape designs to the community to improve support for the work on site.

Arborist Tree Protection Report Review:

The developer's arborist report provided a full assessment and guidance for significant trees as required per the City code. This data can be found in Appendix B. Many trees remain within the PSE ROW that will be impacted by the complete streets project. These trees were identified in Appendix C. Some of these trees are large enough to provide great benefit to the area if retained, and some could be now, or will become high risk if damaged during construction. These trees were tagged and measured, but data for their retention is not available in Appendix B. If PSE does not remove these trees from the site, management decisions will need to be made by the city.

The following recommendations are provided to update the 3rd party arborist report for the development and ensure implementation of the recommendations is conducted.

Recommendations:

1. Follow all the current recommendations in the developer's arborist report for tree removal, mitigation, monitoring, and retention.
2. Request the developer's arborist update Appendix B with for any non-significant trees large enough to become a high risk that remain after PSE is complete with work. This update should include the information on the impacts of construction and recommendations to reduce risk where applicable.
3. Any trees, both significant and non-significant, that are impacted or damaged during construction should be assessed by an arborist for viability and wind firmness as a part of a risk assessment prior to the final project approval. Tree issues within the PSE ROW should be clearly communicated to PSE for management.
4. Request the arborist update the plans to identify where temporary tree protection fencing using the general CRZ guidance should be placed, and where permanent tree protection fencing where no construction should occur should be placed.

Complete Streets Civil and Landscape Design Recommendations:

L.01-L.03 TESC and Demolition Plan

1. Key Note #1 Silt Fence:
 - Highlight areas where the silt fence is within the CRZ of protected trees.
 - Adjust silt fence where possible to be outside the tree protection areas.
 - Use the modified silt fence detail (to be added in L2.2) to reduce the impacts to tree roots during installation.
2. Key Note #3 Tree Critical Root Zone:
 - Require temporary fence around the CRZ for on the ground reference.
 - Install wood chip mulch and water these root zones through construction. Reference details in L2.2

L1.4 -1.6 Site Grading Plan

1. Remove all trees from this plan section that are not retained on the site during construction. (these are shown on the Site Survey and Demolition plans)
2. Identify the proposed location of the temporary tree protection fencing to be placed on site using the overlapping CRZ.
3. Identify construction areas within the temporary tree protection zones where work will be conducted within the critical root zones for all the retained trees. All work in these areas must be overseen by an ISA Certified Arborist® to document impacts to retained trees.

4. The permanent tree protection fence is minimal. Adjust the permanent fences to protect as much of the critical root zone as possible where no construction will occur.
5. The permanent tree protection fence for tree #5082 is too close to the multi-stem trunk. Onsite adjustments will be required or the multi stem tree will be damaged.
6. The canopy of tree #5082 overlaps the dripline of neighboring retained trees. Provide a note requiring pruning for clearance by an ISA Certified Arborist®, and soil protection installed prior to construction in the CRZ.
7. The above changes should also be made on the Site Layout Plans.

L2.2- Site Details

1. Add the attached detail or a note in the TESC detail to install low impact silt fencing on the edge of, or inside tree protection areas. This low impact specification as well as wood chip mulch over tree roots function well for TESC in flat areas.
2. Add a tree protection detail specifying wood chip mulch type (arborist wood chips or coarse hog fuel) at a depth of 8-inches and specifications for weekly watering through the construction season for the retained trees.
3. Add a detail for the permanent tree protection fencing (chain link) and temporary critical root zone fencing (orange construction).
4. Add a detail for a flexi pave or other root friendly pavement designs to be implemented where the path way is within the Interior CRZ of the retained trees on site.
 - a. Use an airspade and vactor truck for low impact soil excavation.
 - b. A close cell foam base placed under pavement will help protect roots and decrease potential root pressure on pavement.
 - c. Do not use tree root barriers along the new paths running between retained trees. The root cutting required to install root barrier will likely result in excessive damage to the retained trees.

L3.1, 3.2 Landscape Plan

1. Paper bark maple (*Acer griseum*) is appropriate for meeting both power line clearance and pedestrian/ traffic clearance. The PSE plant selection guide is not very comprehensive. The Seattle City Light “Trees Near Power Lines” guidebook provides a much greater selection of small trees appropriate for the right of way planting, including *Acer griseum*.
https://www.seattle.gov/light/printdocs/right_tree_book.pdf
2. Remove the trees from the landscape plan that are not being retained.
3. Identify tree protection for any retained non-significant trees. This can be 3-feet from the drip line as stated in the DMC Tree Planting Standards 14.138.130. J.5.

4. Adapt the soil preparations notes #1 to meet DMC 14.38.130.I.5 compliance for soil scarification depth and requirements to meet street tree planting standards. Specifications should provide an equivalent to 24inch of rooting depth in the ROW.
5. Reference DMC 14.38.130 J.5 for soil protection regulations in tree protection areas.
6. Provide notes or design improvements for private property sound and visual screening adjacent to the private property fence lines.

L4.1, Landscape Details and Notes Deciduous Tree Planting Detail

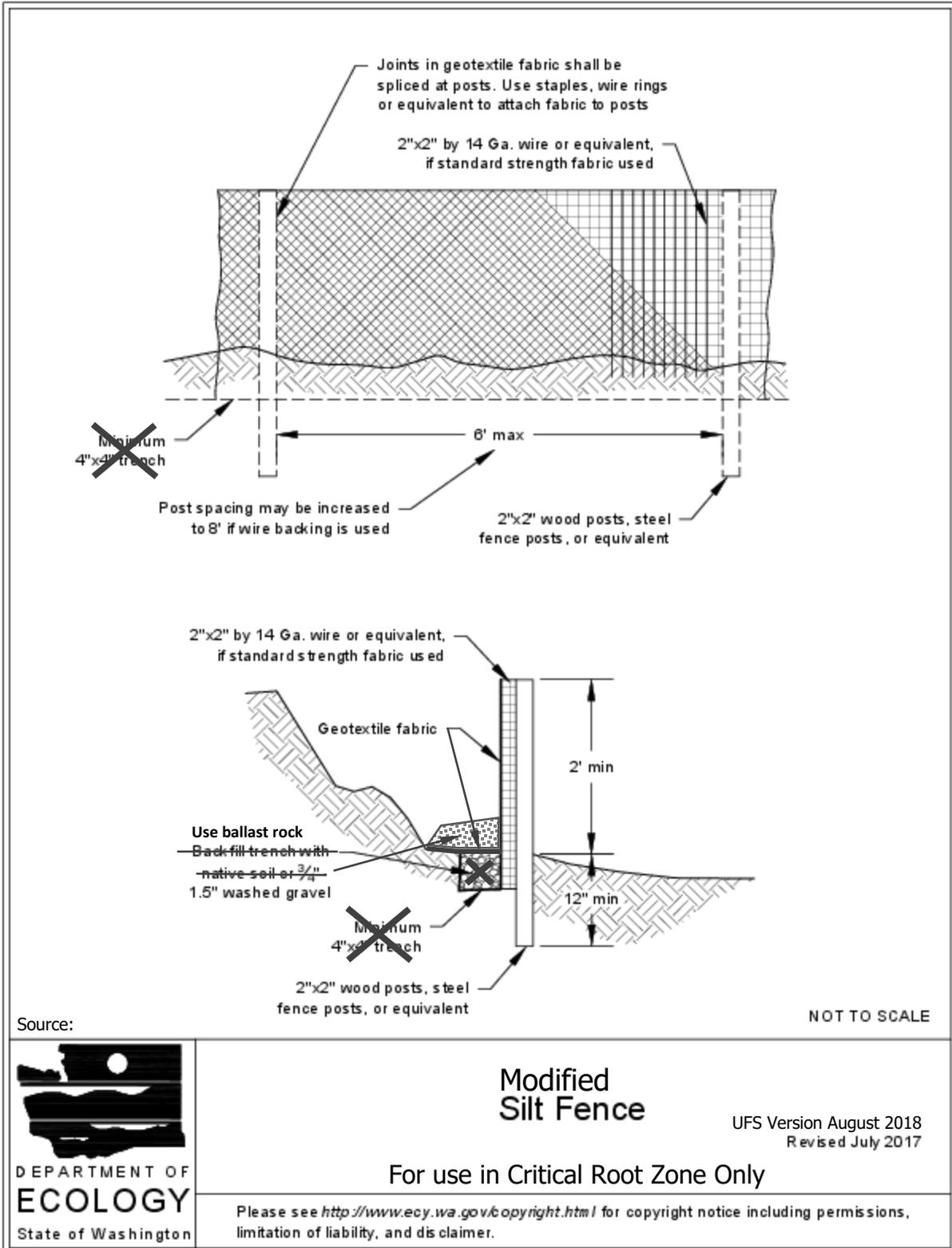
1. Replace “pull burlap off top 1/3 of root ball” with “Remove all wire, ties and burlap from root ball and planting hole”
2. Provide a note or reference soil preparation in the planter strip to be in compliance with the Tree Planting Standards in DMC 14.38.130.I.5 and J.5. The current detail is in conflict with the standard.
3. Adjust notes in Figure V5.3.3 so they are also in compliance with DMC Code requirements.



Photo 1: The sidewalk will flow from the street around the back side of the multi stem maple (arrow). This area will require low impact installation techniques.



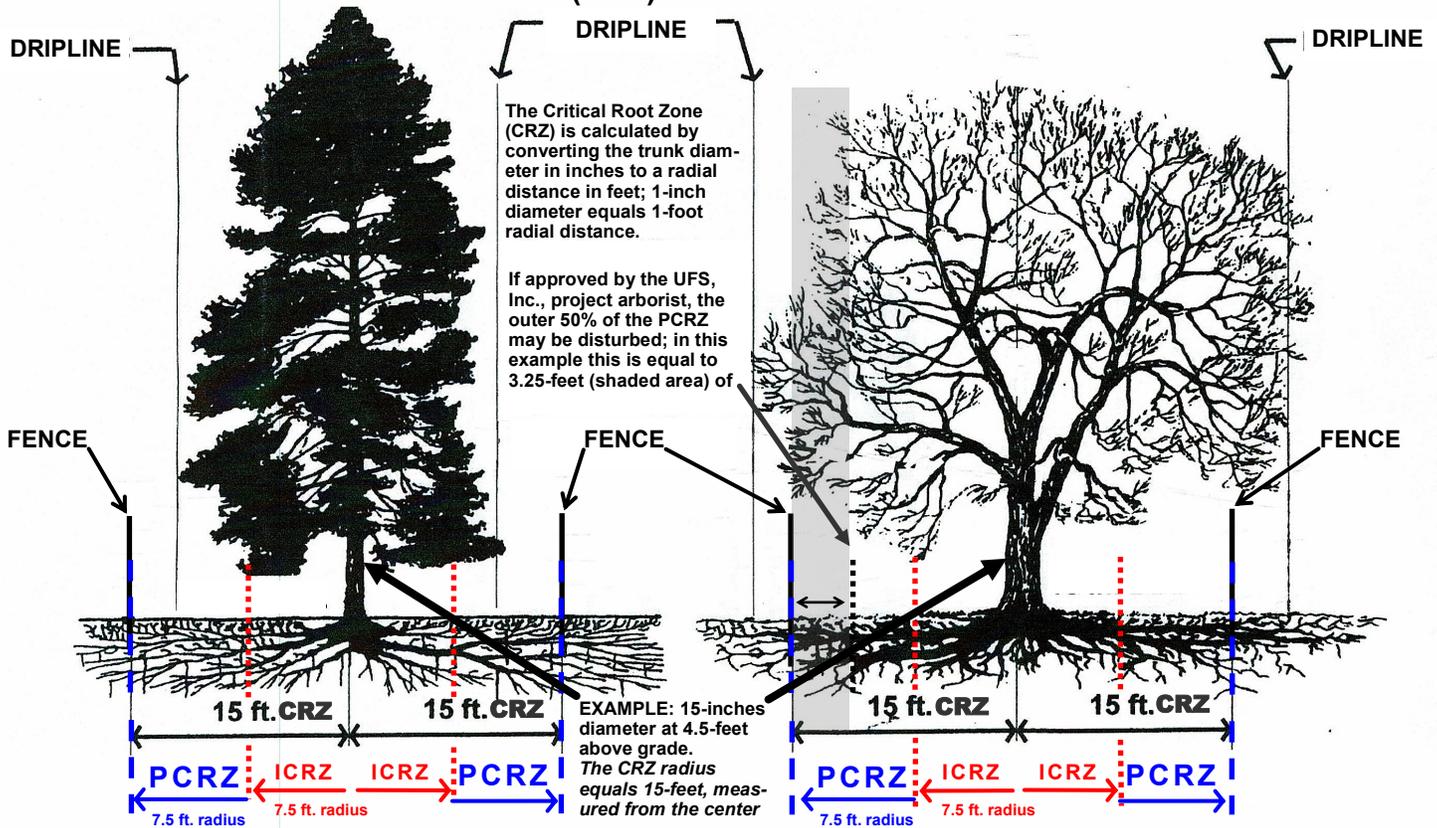
Photo 2: The cottonwood and alder trees in this photo were not assessed for retention. Smaller clumped alder trees close to the development should be removed for the improved street tree development. Large cottonwood trees require a risk assessment if retained.



TREE PROTECTION AREA - TEMPORARY FENCE

NOT TO SCALE

SEE "CRITICAL ROOT ZONE (CRZ) EXPLANATION" FOR ADDITIONAL DETAILS.



Steel posts anchored into the ground and 4-foot orange chain link fence. Fence is not to be moved without authorization by the arborist. No parking, storage, dumping within the tree protection fence.

Any work within the tree protection fence is to be reviewed and monitored by the arborist. Use low impact techniques to

Apply 18-inches of woodchips or other ground protection measures within the protection area. See "General Tree Protection Guidelines" for additional details (Item no.9 "Soil protection".)

Orange fencing commonly fails and will require weekly inspection and maintenance to maintain proper function.

SEE "GENERAL TREE PROTECTION GUIDELINES" FOR ADDITIONAL DETAILS.



15119 McLean Road
Mount Vernon, WA 98273

TEMPORARY TREE PROTECTION FENCE DETAIL

Sheet 1 of 1

NOT TO SCALE

2019



MATURE TREES - POST CONSTRUCTION CARE FOR 2019 THROUGH 2021

1. Irrigation

- Water every 2 weeks between May 1 and September 30 when the soil is dry.
- Use a trowel or soil probe to check the soil before and after watering.
- If there are no sprinklers nearby, set up soaker hoses in loose rings beneath the trees.
- Wet soil 12 inches deep to the area within the drip line.
- Allow the soil to partially dry out between applications.
- Cautions:
 - Avoid soaking the trunks.
 - Avoid over watering where turf or new landscape has been placed nearby

2. Mulch

- Use coarse organic mulch 4 to 6 inches deep to retain moisture and suppress weeds.
- Re-apply when mulch is less than 2-inches deep and/or the soil shows.
- Use arborist wood chips, 'Pacific garden mulch', or similar product. Medium or fine bark mulches are not recommended.
- Cautions:
 - Keep mulch off of the lower trunk and trunk flare.
 - Fertilizer is not recommended at this time. Avoid high fertilization to adjacent turf.



15119 McLean Road
Mount Vernon, WA 98273

Office: 360.428.5810
Fax: 360.428.1822
Cell: 360.770.9921

WILDLIFE SNAG PRUNING DETAIL

OPTIMAL METHODS FOR FINISHED CUTS TO CREATE WILDLIFE SNAGS:



Bayonet style cuts are used to create a jagged and irregular top to mimic conditions of a broken trunk. These cuts can also help reduce excess sprouting on live deciduous trees.

On conifers, retaining broken branch stubs adds habitat value (left photo).

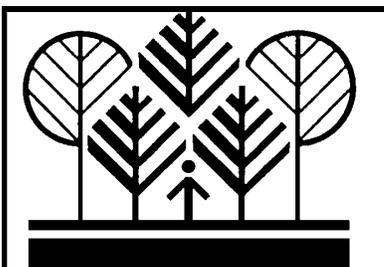


Naturally formed snag.



Tops left cut flat do not provide optimal wildlife habitat.

Flat cut topped trunks on live deciduous trees often result in excessive new shoot growth that can create future problems.



SHEET TITLE

WILDLIFE SNAG PRUNING DETAIL

Sheet 1 of 1

2017

PREPARED BY

URBAN FORESTRY SERVICES, INC.
15119 McLEAN ROAD
MOUNT VERNON, WA 98273