

<p>Received Stamp RECEIVED FEB 20 2020 CITY OF DUVAL</p>	 <p>City of Duvall Small Town. Real Life.</p>	<p>Planning Department 15535 Main St. NE PO Box 1300 Duvall, WA 98019 (425) 788-2779 FAX (425) 788-8097 www.duvallwa.gov</p>
<p>Master Permit Application</p>		

This form must be completed (clearly printed or typed) and submitted to the Planning Department to file an application. Additional materials are required for specific types of applications. Please provide 7 complete packets with copies of all required application materials (stapled or binder clipped). For questions, please contact the Planning Department at (425) 788-2779.

FOR STAFF USE ONLY						
File No.:		Received By:			Date Received:	
Type of Application:	<p>TYPE I</p> <input type="checkbox"/> Administrative Interpretation <input type="checkbox"/> Boundary Line Adjustment <input type="checkbox"/> Wireless Facility <input type="checkbox"/> Other Construction Permits – no SEPA required <input type="checkbox"/> Final Site Plan	<p>TYPE II</p> <input type="checkbox"/> Building Permit-SEPA required <input checked="" type="checkbox"/> Other construction permit – SEPA required <input type="checkbox"/> Sensitive Area Permits <input checked="" type="checkbox"/> Site Plans, Parks less than 1/2 acre in new area <input type="checkbox"/> Infill Development of duplexes and townhome	<p>TYPE III</p> <input type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Shoreline Substantial Development Permit <input type="checkbox"/> Preliminary Short Subdivision <input type="checkbox"/> Site Plan/ Master Development Plan Over 1/2 acre <input type="checkbox"/> Vacations/Alterations <input type="checkbox"/> Reasonable Use Exception	<p>TYPE IV</p> <input type="checkbox"/> Rezone	<p>TYPE V</p> <input type="checkbox"/> Final Plat <input type="checkbox"/> ROW Vacation	<p>TYPE VI</p> <input type="checkbox"/> UDR Text Amendment <input type="checkbox"/> Annexation <input type="checkbox"/> Area-Wide Zoning Map Amendment <input type="checkbox"/> Comp. Plan Amendment <input type="checkbox"/> Pre-Annexation Zoning
<input type="checkbox"/> Other Application (please explain): _____						

APPLICANT

Name (please print): ALANA MCCLOY		Phone #: (425) 939 8045	
Email Address: alana.mccloy@duvallwa.gov			
Street Address: 14525 MAIN ST., P.O. BOX 1300	City: DUVALL	State: WA	Zip: 98019

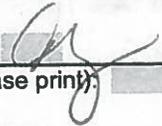
BASIC PROJECT INFORMATION

Project / Development Name: _____	Project / Development Location (including nearest intersections): _____			
275TH AVENUE COMPLETE STREETS SIDEWALK	275TH AVENUE FROM NE 150TH SOUTH TO NE 145TH LN.			
Description of Proposed Action: _____				
NE 150TH - 1275TH CROSSWALK + LIGHTING IMPROVEMENTS. INSTALLATION OF 1200 L.F. 6' CONCRETE SIDEWALK WITH THREE EXERCISE STATIONS.				
Assessor / Tax Parcel Numbers (include 10-digit parcel number for all parcels within project boundaries):				
<table border="1" style="margin: auto;"> <tr> <td style="width:30%;">132606-9020</td> <td style="width:30%;"></td> <td style="width:30%;"></td> </tr> </table>		132606-9020		
132606-9020				
Land Area of Project Site (sq. ft. & acres): 270,463 SF	Zoning District: PUGET SOUND ENERGY	Comp Plan Designation: ROW		

CONTINUED ON BACK PAGE

Present use of property: <u>Puget Sound Energy Easement</u>		Are there Sensitive Areas on the property? <u>NO</u>	
OWNER (if other than applicant)			
Name (please print): <u>CITY OF DUVAL</u>		Phone #: <u>425-788-3434</u>	
Email Address: <u>alana.mccoy@duvallwa.gov</u>			
Street Address: <u>PO BOX 1300</u>		City: <u>Duval</u>	State: <u>WA</u>
			Zip: <u>98019</u>

AUTHORIZATION TO FILE APPLICATION (all persons with an ownership interest in property)

Name (please print): <u>ALANA MCCOY for CITY OF DUVAL</u>		<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Contract Purchaser
Address: <u>P.O. BOX 1300, DUVAL, WA 98019</u>		<input type="checkbox"/> Option Purchaser	
Phone #: () <u>425-939-8045</u>		Option Expiration Date: <u> </u>	
Assessor Parcel Number(s): <u>132606-9020</u>			
<i>I certify that the information and exhibits contained in and with this application is true and correct to the best of my knowledge and under the penalty of perjury by the laws of the state of Washington.</i>			
Signature: 			
Name (please print): <u> </u>		<input type="checkbox"/> Owner	<input type="checkbox"/> Contract Purchaser
Address: <u> </u>		<input type="checkbox"/> Option Purchaser	
Phone #: () <u> </u>		Option Expiration Date: <u> </u>	
Assessor Parcel Number(s): <u> </u>			
Other Documents Required: 1. Application / Information for specific permit type. 2. SEPA Checklist.			
<i>I certify that the information and exhibits contained in and with this application is true and correct to the best of my knowledge and under the penalty of perjury by the laws of the state of Washington.</i>			
Signature: <u> </u>		Date: <u> </u>	

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APPLICANT NOTARY

I, the undersigned, state that to the best of my knowledge the above information is true and complete. It is understood that the City of Duvall may nullify any decision made in reliance upon information given on this application form should there be any willful omission of significant information or any misrepresentation or willful lack of full disclosure on my part.

Applicant's Signature _____
[Handwritten Signature]

STATE OF WASHINGTON }
COUNTY OF KING } SS

On this 18th day of February, 2020, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared ANNA MCCOY, to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that She signed the same as her free and voluntary act and deed, for the uses and purposes therein mentioned, and on oath stated that he/she was authorized to execute said instrument.

WITNESS MY HAND AND OFFICIAL SEAL THIS 18th day of February, 2020



Jodi Wycoff
Notary Public in and for the State of Washington
residing at Duvall, WA

OWNER NOTARY (if other than Applicant)

I, the undersigned, state that to the best of my knowledge the above information is true and complete. It is understood that the City of Duvall may nullify any decision made in reliance upon information given on this application form should there be any willful omission of significant information or any misrepresentation or willful lack of full disclosure on my part.

Owner's Signature _____

STATE OF WASHINGTON }
COUNTY OF KING } SS

On this _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared _____, to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that _____ signed the same as _____ free and voluntary act and deed, for the uses and purposes therein mentioned, and on oath stated that he/she was authorized to execute said instrument.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ day of _____, 20____.

Notary Public in and for the State of Washington
residing at _____

Notary Seal Affixed Here

The following tables set out the project permit decision making and appeal processes, the division of action types into permit types and the required procedure for each permit type.

Table 14.08.010.C.1 Project Permit Applications – Action Type

Project Permit Applications – Action Type					
TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI
Boundary Line Adjustments	Building Permits – SEPA required	Conditional Use Permits	Rezones	Final Plats	UDR Text Amendments
Minor exterior remodels, no building permit required		Shoreline Conditional Use Permits			Annexations ⁽²⁾
Building Permits – no SEPA required	Other Construction permits – SEPA required	Shoreline Substantial Development Permits			Area-Wide Zoning Map Amendments
Other Construction Permits – no SEPA required	Sensitive Area Permits	Shoreline Variances			Comprehensive Plan Amendments
Wireless Facilities on Existing Structure – Camouflaged	Site Plans, Parks less than ½ acre in new area				
Final Site Plan Permits					Development Agreements
Administrative Interpretations	Infill Development of Duplexes and Town Home	Preliminary Short Subdivisions			Pre-Annexation Zoning ⁽³⁾
Shoreline Exemptions		Site Plans/Master Development Plan greater than ½ acre ⁽⁵⁾			
		Preliminary Long Subdivisions			
		Variances			
		Vacations or Alterations –Subdivisions			
		Reasonable Use Exceptions			

Table 14.08.010.C.2 Project Permit Applications – Decision Making and Appeal Process

Project Permit Applications – Decision Making and Appeal Process						
	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI
Final Decision made by	Director	Director	Hearing Examiner	City Council	City Council	City Council
Recommendation made by	N/A	N/A	Planning Department Planning Commission ⁽¹⁾	Planning Commission	Engineering Department	Planning Commission
Open Record Public Hearing – Decision	No	No	Yes – Hearing Examiner	Yes – City Council	No	Yes - Planning Commission ⁽⁴⁾ Yes - City Council
Open Record Public Hearing - Appeal	Yes	Yes	No	No	No	No
Closed Record Appeal	No	No	No	No	No	No
Appeal to:	Hearing Examiner	Hearing Examiner	King County Superior Court	King County Superior Court, SHB	King County Superior Court, GMHB	King County Superior Court, GMHB, SHB
Judicial Appeal	Yes	Yes	Yes	Yes	Yes	Yes

(1) Site plan applications require a recommendation by the Planning Commission and the Planning Department. See DMC 14.62 for Planning Commission criteria. All other Type III applications require a recommendation by the Planning Department.

(2) Annexation petition decisions are not appealable.

- (3) City Council shall hold two public hearings for a pre-zone application consistent with state law.
 - (4) Planning Commission does not hold a public hearing for a pre-zone application.
 - (5) Master Development Plan shall follow the criteria in DMC 14.62 and 14.18.060.
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Table 14.08.010.C.3 Required Procedures for Project Permit Applications

Required Procedures for Project Permit Applications						
	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI
Pre-Application Meeting	No	No	Yes	Yes	No	No
Notice of Completeness	No	Yes	Yes	Yes	Yes	No
Notice of Application	No	Yes	Yes	Yes	No	No
SEPA Determination ⁽¹⁾	No	Yes	Yes	Yes	No	Yes
Notice of Hearing	No	No	Yes	Yes	No	Yes
Notice of Decision	No	Yes	Yes	Yes	Yes	No
120 Day Review ⁽²⁾	No	Yes	Yes	No	No	No

- (1) SEPA not required for projects that are categorically exempt in accordance with DMC 14.60.
- (2) 120 Day Review does not apply to preliminary or final plats. Preliminary long or short plats have a 90-day review clock and final short or long plats, a 30-day review clock in accordance with RCW 58.17.140.

Table 14.08.010.C.4 Notice Requirements for Project Permit Applications

Notice Requirements for Project Permit Applications ¹							
	Send to Property Owners within 300'	Post Property	Publish Notice	Send to Agencies (including DRC)	Send to Applicant	Provide to PC	Provide to CC
Notice of Completeness	No	No	No	No	Yes	No	No
Notice of Application	Yes	Yes	No	Yes	Yes	Yes	Yes
SEPA Determination	No	No	Yes	Yes	Yes	Yes	Yes
Notice of Open Record Predecision Hearing, if applicable ²	Yes	Yes	Yes	No	Yes	Yes	Yes
Notice of Decision ⁽¹⁾	No	No	No	No	Yes	Yes	Yes
Notice of Open Record Appeal Hearing, if applicable	Yes	Yes	Yes	No	Yes	Yes	Yes

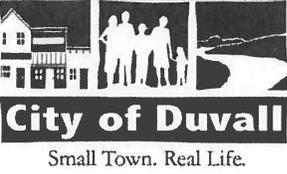
- (1) Notices are sent to parties of record. (See DMC 14.08.030.)
- (2) Preliminary plats; see additional notice requirements in DMC 14.08.030.F.4.b.

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Site Plan Review Permit Application

This form must be completed (clearly printed or typed) and submitted to the City to file an application, along with the Master Permit Application. Additionally, the applicant shall provide all information as required by the attached checklist, as well as all fees as determined by the Planning Director (see attached Fee Schedule). For questions, please contact the Planning Department at (425) 788-2779.

FOR STAFF USE ONLY		
File No.:	Received By:	Date Received:
Applicant Name: CITY OF DUVALL ALANA MCCOY		Phone # (425) 939-8045
Signature: <i>[Signature]</i>		
Project / Development Name: 275 th AVE NE COMPLETE STREETS		
Street Address / Location of Site: NE 150 th St AND 275 th AVE NE		
Assessor / Tax Parcel Number(s):		
Zoning: R.O.W PSE EASEMENT	Comprehensive Plan Designation:	
<p>A. Justification An applicant shall demonstrate that the site plan review application meets all criteria as defined in DMC 14.62.030, as well as provide the following information:</p> <ol style="list-style-type: none"> 1. Provide a written description of the project. 2. Provide written documentation that the project is consistent with the Comprehensive Plan and Unified Development Regulations. 3. Discussion of how the proposed project is consistent with the City's development regulations in consideration of: <ol style="list-style-type: none"> a. The type of land use of the proposed project; b. The level of development, such as units per acres or other measures of density; c. Availability of infrastructure, including public facilities and services needed to serve the development; and d. The character of development, including compliance with DMC 14.34, Design Guidelines and all other provisions of this Title. 		
<p>A. A Site Plan Checklist has been included in the application packet. It included all items that are required at time of submittal.</p>		
<p>B. Any other information deemed pertinent by the DRC, Planning Commission or City Council or required to be submitted with the site plan under other provisions of the Duvall Municipal Code.</p>		

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Site Plan Review Application Checklist

FOR STAFF USE ONLY

File No.:	Received By:	Date Received:
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The following is a list of materials which are required for a complete application. For some permits, it will not be necessary to submit all the listed materials. Consult with the Planning Department if you have any questions.

Applicant	The Director will determine which items are not applicable (NA) at or prior to the pre-application meeting.		
City	NA		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1. The location, identification and dimensions of all property lines, streets, alleys and easements, together with verification of the right to utilize easements proposed; DRC may require a boundary survey;
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2. The total area of the site (square feet and dimensions), together with the area of each individual lot, tract or other division of land contained on the site plan; the nature in gross floor area of each use and the total number of square feet to be covered by impervious surface.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3. The location and size of buffers, yards, open spaces, and landscaped areas, setback areas, sensitive areas and all other non-impervious area on the site.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4. The proposed use of structures and their gross floor area.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5. The location and design for all cuts and fills (e.g. retaining walls, rockeries, and plantings). See DMC 14.34.060E, Site grading and Stormwater
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6. A layout of proposed streets, alleys, vehicle and pedestrian accesways, buffer areas, and parcels proposed to be dedicated or reserved for public space, park, playground, or other uses.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7. Block Standards. Blocks shall have sufficient width to provide for a maximum of 2 tiers of lots of appropriate depths. See DMC 14.66.050 for requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8. Lot standards
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	a. Lot lines shall be at right angles to street lines or radial to curvilinear streets unless a variation will result in a better street or lot plan.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	b. No lot shall be established which is in violation of the Duvall Municipal Code.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	c. Lot shapes shall be designed to avoid awkward configuration or appendages.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	d. Every lot or pad shall have a minimum frontage of 25 feet on a public or privately dedicated right-of-way.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	e. A repair and maintenance access shall be provided to all lots by site plan or plat easement and property deed. Such required easements shall be shown on the face of the site plan or plat.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	f. Dimensions of corner lots or pads shall be large enough to allow for setbacks off of both streets.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	g. Corner lots shall be graded with limited landscaping at corners to provide sufficient sight clearance at intersections.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	h. Each lot shall have sufficient width, area and frontage to comply with the minimum site requirements as set forth in each zoning district. See DMC 14.64 Additional Development Standards and DMC 14.34 General - Design Standards

<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>9. All covenants regarding joint use of parking, utilities, and joint responsibility for maintenance and repair of facilities needed to ensure that subsequent division of property will not jeopardize any significant required element of the site plan</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>10. The building envelope shall be shown on all lots.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>11. Easements (See Public Works Development Design Standards for specific requirements.</p> <p>a. Public easements for the construction and maintenance of utilities and public facilities shall be granted to provide and maintain adequate utility service to each lot and adjacent lands. The width of the public easements shall be the minimum necessary as determined by the utility, unless the Public Works Director determines a smaller or larger width is appropriate based on site conditions. Whenever possible, public easements shall be combined with driveways, pedestrian accessways and other utility easements.</p> <p>b. Private easements for the construction and maintenance of utilities within the site area shall be granted so that individual lots gain access to public facilities. The widths of the private easements shall be the minimum necessary as determined by the utility, unless the Public Works Director determines a larger width is appropriate based on the site conditions.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>c. Native growth protection easements or areas (NGPE/NGPA) shall be granted as deemed appropriate by the City where the preservation of native vegetation benefits the public health, safety and welfare, including control of surface water and erosion, maintenance or slope stability, visual buffering, and protection of plant and animal habitat, and in accordance with DMC 14.42, Sensitive Area Regulations.</p> <p>d. The placement of any building on or over an easement for utility mains or lines shall be prohibited. An easement may be used for more than one utility, vehicle, or pedestrian access, provided the City finds the multi-use appropriate. Restoration of the site shall be required following any excavation or other disturbance permitted by the terms of the easement. Appropriate landscaping as determined by the City is permitted, and may be required, in an easement.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>12. Water Supply</p> <p>All lots shall be served by a water system approved by the City of Duvall. Any common water system serving more than one lot shall be provided by the applicant and dedicated to the appropriate water purveyor. Such water supply systems shall be designed and constructed according to all applicable provisions of the Duvall Municipal Code and the Public Works Development Design Standards, the standard and specifications of the water purveyor, and the applicable rules and regulations of the State.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>13. Sewage Disposal</p> <p>All lots shall be served by the sanitary sewer system of the City of Duvall. Except for private side sewers, any common sanitary sewer system serving more than one lot shall be provided by the applicant and dedicated to the City. Such sewer systems shall be designed and constructed according to all applicable provisions of the Public Works Development Design Standards and the standards and specifications on file in the office of the Director of Public Works.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>14. Storm Drainage</p> <p>a. All lots shall be provided with adequate storm drainage connected to the storm drainage system of the City or other system approved by the Public Works Director.</p> <p>b. Where a public street is to be dedicated or improved by the applicant as a condition of preliminary approval, the applicant shall provide and dedicate any required storm drainage system in the right-of-way.</p> <p>c. When appropriate, storm drainage facilities shall include suitable on-site detention and/or retention facilities.</p> <p>d. Storm drainage shall be provided in accordance Public Works Development Design Standards as amended and standards and specifications as approved by the Public Works Director.</p> <p>e. Stormwater facilities design and specifications. See DMC 14.34.06E Site Grading and Stormwater and DMC 14.38.090 Landscape area width and type.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>15. Watercourses</p> <p>When required by the City, the developer of a subdivision shall enhance a stream which traverses or abuts the subdivision in accordance with the specifications and standards approved by the City.</p>

<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>16. Underground utilities All permanent utility service to lots shall be provided from underground facilities as set forth in the Public Works Development Design Standards regulating underground wiring.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>17. Street Standards</p> <p>a. Subdivisions shall provide direct access to at least one existing improved and publicly dedicated street.</p> <p>b. When a subdivision is abutting an existing street or streets with a right-of-way of lesser width than specified by City ordinances or about roadways that are not built to City street standards, the applicant may be required as a condition of approval, to deed additional right-of-way width and to improve said right-of-way to the design specifications of the Public Works Director.</p> <p>c. The City may require dedication of right-of-way in excess of standards in the following cases. See DMC 14.66.050 Subdivision Standards.</p> <p>d. Dead-end streets shall be used on local streets only and shall terminate in a cul-de-sac. Streets which dead-end, and which would normally be continued if the adjacent property were developed, shall be shown as temporary turnarounds. The land beyond the normal right-of-way for such streets shall revert back to the abutting property owners when the street is continued.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>e. The street within and adjacent to a site plan or subdivision shall be classified and designed to comply with the Duvall Comprehensive Plan.</p> <p>f. Proposed streets should extend to the boundary lines of the proposed site plan or subdivision in order to provide for the future development of adjacent tracts unless prevented by natural or man-made conditions or unless such extension is determined to be unnecessary by the Public Works Director.</p> <p>g. The street pattern for subdivisions should be designed to expedite traffic movement, reduce conflicts between various types of land uses including pedestrians, and coordinate the location of proposed buildings with rail, loading and parking facilities.</p> <p>h. Streets shall be designed in accordance with the Public Works Development Design Standards and DMC 14.34, Design Standards – General.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>18. Street right-of-way and pavement widths</p> <p>a. The street right-of-way in or along the boundary of a subdivision shall conform to the provisions set forth in the Public Works Development Design Standards.</p> <p>b. When a subdivision or an area within a subdivision is set aside for commercial or industrial uses, or where probable future conditions warrant, greater widths than those provided in the Public Works Development Design Standards, may be required.</p> <p>c. Where topographical requirements necessitate either cuts or fills for the proper grading of the streets, additional right-of-way widths or slope easements may be required.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>19. Street Names</p> <p>a. Public street names for streets located on the City grid as determined by the Building Official shall conform to the City's street numbering system</p> <p>b. Public and private street names for streets not located on the City grid shall be determined by the Building Department. Such names shall be taken from a list of historical names prepared by the Duvall Historical Society and updated from time to time.</p> <p>c. Street name determination and addressing shall also be consistent with DMC 8.06.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>20. Street lights</p> <p>a. All subdivisions shall include underground electric service, light standards, wiring and lamps for street lights according to Public Works Development Design Standards for underground wiring and the specifications and standard set forth in DMC 14.46, Exterior Lighting Standards.</p> <p>b. The applicant shall submit for approval by the City the design of the light standards.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>21. Survey The survey shall be made by or under the supervision of a registered land surveyor. All surveys shall conform to standard practices and principles for land surveying as set forth in the laws of the State of Washington. Subdivision control and staking traverses shall close within an error of 1 foot in 5,000 feet. Primary survey control points shall be referenced to section corners and monuments.</p>
	<p>22. Public accessways</p>

<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>a. When necessary for public convenience or safety, the developer shall improve and dedicate to the public accessways to connect to cul-de-sac streets, to pass through oddly shaped or unusually long blocks and to provide for networks of public paths creating access to schools, parks, shopping centers, transit stops or other community services.</p> <p>b. The accessway shall be of such design, width and location as reasonably may be required to facilitate public use. Where possible, said dedications may also accommodate utility easements and facilities.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>23. Clearing and grading All clearing and grading shall be conducted in compliance with the provisions set forth in DMC 10.12, Clearing and Grading and DMC 14.34, Design Standards – General.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>24. Design Standards – Residential (See DMC 14.36 for standards)</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>25. Design Standard – General (See DMC 14.34)</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>26. Parking</p> <p>a. See Parking Standards DMC 14.44</p> <p>b. Parking areas or lots shall be configured so as not to functionally and visually intrude onto public sidewalks or road corridors.</p> <p>c. Parking lot aisles should be aligned perpendicular to commercial, retail and office building entries to provide protected walking spaces and visual focus on the entries.</p> <p>d. Where feasible, parking lots should be varied in grade, bermed, and/or differentiated with planting materials to reduce the visible extent of continuous surface.</p> <p>e. Permanent parking areas shall be paved and drained. Landscape areas shall be protected with curbs, wheel stops or other design methods to prevent damage from parking vehicles.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>27. Landscaping Standards (See DMC 14.38)</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>28. Tree Protection Standards (See DMC 14.40)</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>29. Impact Fee Assessments (See DMC 14.58)</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>30. Sensitive Area Regulations (See DMC 14.42 for standards) When a development proposal includes or is adjacent to one or more sensitive areas the applicant shall submit a sensitive area report in accordance with DMC 14.42.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>31. Other standards Other Standards. The proposal conforms to all other standards set forth in this Title, other applicable provisions of the Duvall Municipal Code, and the Public Works Development Design Standards.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>32. King County Fire District #45</p> <p>a. The location of all firehydrants.</p> <p>b. The proposal conforms to all standards of the Duvall-King County Fire District 45.</p>
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>33. Traffic Impact Analysis (TIA) (See Engineering Dept. for details)</p>



City of Duvall

Small Town. Real Life.

Site Plan Review Permit Application Packet

The following forms and information are included with this permit application packet:

1. Master Permit Application
2. Site Plan Review Permit Application
3. Site Plan Review Application Checklist
4. SEPA Checklist (if needed)
5. Fee Schedule (* All impact fees, land use fees and charges are subject to change without notice. The fee schedule may not include all fees. It is the applicant's responsibility to contact the City of Duvall to ensure current fees are in effect.)
6. Development Permit Review Process timeline
7. City Contacts List
8. Chapter 14.62 Site Plan Criteria regulations.
9. Chapter 14.58 Impact Fee Assessment regulations.
10. Chapter 14.44 Parking Standards and Design regulations.
11. Chapter 14.50 Sign Code regulations.
12. Chapter 14.38 Landscaping Regulations.



Small Town. Real Life.

Job Start: _____
 Contact Person: _____
 CBR#: _____
 Completion Date: _____

Permit No: #20-776
 Fee Due: \$n/c City Project
 275th Sidewalk

PERMIT TO CONSTRUCT OR PERFORM WORK IN
 CITY PUBLIC STREETS OR RIGHT-OF-WAY

8.04.050 - Street use permit. Permit Issuance. The city engineer shall review all applications for street use permits. The engineer shall approve such applications when all information required therein is fully completed to the satisfaction of the engineer and when the other requirements of this section are met. The city engineer shall not issue street use permits for utility installation for hard-surface (pavement) cuts (except in emergency situations) for a period of five years from the initial surfacing or general resurfacing of the pavement to be cut. In addition to the cost of the normal street use permit fee, any street use permit issued for utility installation for hard-surface (pavement) cuts shall require an additional fee of two hundred fifty dollars (\$250.00); provided, however, that in the case of emergency permits issued within five years of the initial surfacing or resurfacing of the pavement to be cut, the additional fee shall be one thousand five hundred dollars (\$1,500.00) if the cut is made within one year after the street has been overlaid; one thousand two hundred fifty dollars (\$1,250.00) if the cut is made within two years after the street has been overlaid; one thousand dollars (\$1,000.00) if the cut is made within three years after the street has been overlaid; seven hundred fifty dollars (\$750.00) if the cut is made within four years after the street has been overlaid; and five hundred dollars (\$500.00) if the cut is made within five years after the street has been overlaid.

This permit is hereby granted, subject to the following conditions:

1. All work performed within the Public Right-of-Way shall be in conformance with the City of Duvall adopted Development Design Standards and/or attached conditions.
2. Permittee shall provide barricades necessary to ensure public safety.
3. In all cases, the Applicant shall provide adequate temporary signing or manpower to regulate and direct the flow of traffic around the construction area. One-way traffic at a minimum at all times.
4. The permittee shall hold the City harmless in any liability suits or judgments that may arise as a result of said construction activities. Applicant shall present certificate of insurance, naming the City and it's employees as additional insured prior to commencement of construction.
5. A preconstruction conference is required prior to commencing work.
6. **Notification of the Duvall Public Works shall be required forty-eight (48) hours prior to the start date. Call 425-788-3434.**
7. All utilities locations shall be the responsibility of the applicant prior to construction. Any necessary relocation of existing utilities will be done at the permittee's expense.
8. **Duvall Public Works or the City Engineering Department will require notification of any asphalt restoration/completion date so a final inspection and final acceptance from the City.**
9. A performance bond in the form of a ___surety bond, ___ set-aside fund, or ___ cashier's check in the amount of _____ shall be provided to the City prior to start of construction.
10. Failure to meet any of the above conditions could result in:
 - a. Stop Work Order
 - b. Legal Action.

11. Permission is hereby granted to perform the following work in the Public Street Right-of-way:

Clear brush in PSE easement to prep for installation of sidewalks from NE 150th-NE 145th Lane, on the eastside of 275th Ave NE. approximately 1400 ft. in length.

12. Asphalt to be neat line cut, a continuous line. Restoration as a minimum shall include 6.5" of crushed surfacing material and the same thickness as the existing asphalt pavement or a minimum of 3 inches whichever is greater.

Fees: Permit Fee	\$ 50.00
Review Fee	\$100.00
Inspection Fee	\$112.61
IT Surcharge (5%)	\$ 13.13 (001.00.322.10.00.01)

Total due: \$ N/C City enhancement

*Fee includes only one inspection. Any additional inspections/site visits will be billed separately to the responsible party.

Notify Public Works 425-788-3434 in the event of open cutting. You will be charged for an open cut. You must restore pavement in original condition using Controlled Density Fill.

13. A maintenance bond in the form of a __surety bond, __set-aside fund, or __cashier's check in the amount of _____ shall be provided to the City when the construction is accepted as complete and for a period of one year guaranteeing the workmanship of the construction and the quality of the materials.

14. Payment of an inspection/monitoring fee of \$82.00 per hour.

15. I have read, understand, and agree to the above conditions:

CONTRACTOR/DEVELOPER: Project Manager Alana McCoy

JOB # _____ ADDRESS _____ PO Box 1300

CONTACT PERSON Alana McCoy PHONE NO. 425-939-8045

CONDITIONS:

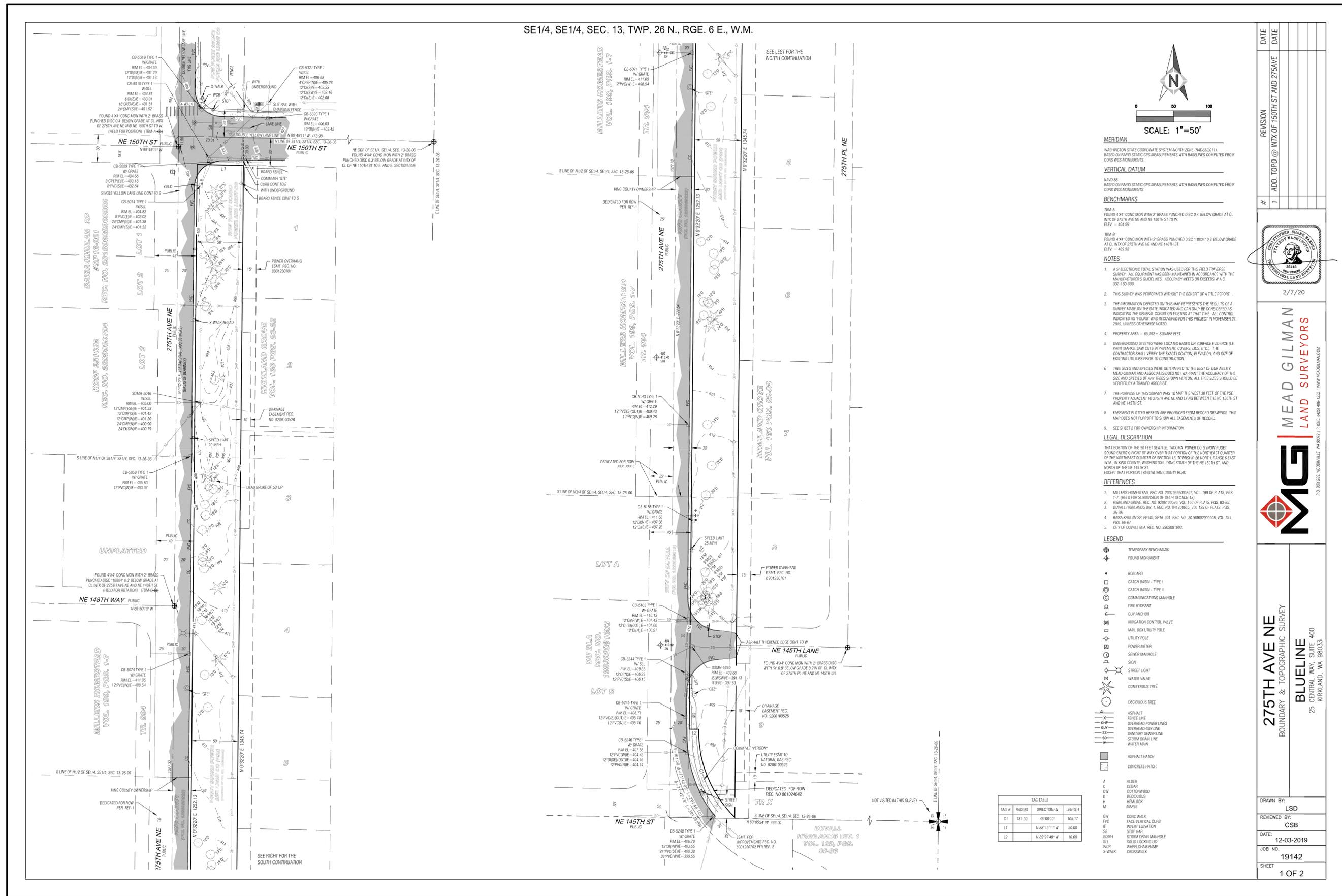
- No work within roadway/sidewalk/curb w/o prior approval from PW.
- Restore all landscaping/other improvements to existing or better condition.
- No asphalt cuts allowed without an on-site meeting w/City Inspector/Engineer to discuss the required Asphalt Restoration, full width grind and overlay required unless otherwise approved by City Inspector/Engineer.
- No saw cutting to pot hole existing utilities. No open cuts – Bore only – core drill to locate existing utilities. CDF back fill up to within 4" to asphalt surface, tack CDF before paving.
- Asphalt restoration shall be done within 30 days after construction.

APPROVAL: Mike Fisher DATE 5/6/20
Public Works Supt. or City Engineer 425-788-3434

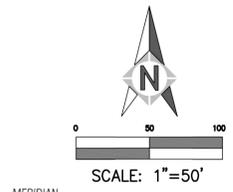
PERMIT EXPIRES: 11/6/2020

"I certify, under penalty of perjury according to the laws of the State of Washington, that the information furnished by me is true and correct to the best of my knowledge, has been requested by the property owner, and that the applicable City of Duval requirements will be met"

Signature of Applicant: [Signature] DATE 5-6-20



SE1/4, SE1/4, SEC. 13, TWP. 26 N., RGE. 6 E., W.M.



SCALE: 1"=50'

MERIDIAN
 WASHINGTON STATE COORDINATE SYSTEM-NORTH ZONE (NAD83/2011)
 BASED ON RAPID STATIC GPS MEASUREMENTS WITH BASELINES COMPUTED FROM CORS WGS MONUMENTS.

VERTICAL DATUM
 NAVD 88
 FOUND ON RAPID STATIC GPS MEASUREMENTS WITH BASELINES COMPUTED FROM CORS WGS MONUMENTS.

BENCHMARKS
 BENCH MARK
 FOUND 4"x4" CONC MON WITH 2" BRASS PUNCHED DISC 0.4 BELOW GRADE AT CL INTX OF 275TH AVE NE AND NE 150TH ST TO W.
 ELEV. = 404.59

NOTES
 1. A 5' ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. ALL EQUIPMENT HAS BEEN MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES. ACCURACY MEETS OR EXCEEDS A 1/2" 332-130-090.

2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.

3. THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME. ALL CONTINGENTS INDICATED AS FOUND WERE RECOVERED FOR THIS PROJECT IN NOVEMBER 27, 2019, UNLESS OTHERWISE NOTED.

4. PROPERTY AREA = 65,192 - SQUARE FEET.

5. UNDERGROUND UTILITIES WERE LOCATED BASED ON SURFACE EVIDENCE (A.E. PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION, AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

6. TREE SIZES AND SPECIES WERE DETERMINED TO THE BEST OF OUR ABILITY. MEAD GILMAN AND ASSOCIATES DOES NOT WARRANT THE ACCURACY OF THE SIZE AND SPECIES OF ANY TREES SHOWN HEREON. ALL TREE SIZES SHOULD BE VERIFIED BY A TRAINED ARBORIST.

7. THE PURPOSE OF THIS SURVEY WAS TO MAP THE WEST 30 FEET OF THE PSE PROPERTY ADJACENT TO 275TH AVE NE AND LYING BETWEEN THE NE 150TH ST AND NE 145TH ST.

8. EASEMENT PLOTTED HEREON ARE PRODUCED FROM RECORD DRAWINGS. THIS MAP DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.

9. SEE SHEET 2 FOR OWNERSHIP INFORMATION.

LEGAL DESCRIPTION
 THAT PORTION OF THE 50 FEET SEATTLE, TACOMA POWER CO S (NOW PUEBT SOUND ENERGY) RIGHT OF WAY OVER THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 26 NORTH, RANGE 6 EAST, W.M., IN KING COUNTY, WASHINGTON, LYING SOUTH OF THE NE 150TH ST. AND NORTH OF THE NE 145TH ST. EXCEPT THAT PORTION LYING WITHIN COUNTY ROAD.

REFERENCES
 1. MILLERS HOMESTEAD, REC. NO. 2011022000097, VOL. 199 OF PLATS, PGS. 1-7. (FIELD FOR SUBDIVISION OF SE1/4 SECTION 13).

2. HIGHLAND GROVE, REC. NO. 9206100526, VOL. 160 OF PLATS, PGS. 83-85.

3. DUVALL HIGHLANDS DIV. 1, REC. NO. 941200866, VOL. 129 OF PLATS, PGS. 35-36.

4. BASA-KHULAN SP, P.P. NO. SP76-001, REC. NO. 2016602900005, VOL. 344, PGS. 66-67.

5. CITY OF DUVALL B.L.A. REC. NO. 9302081803.

LEGEND
 BOUNDARY & TOPOGRAPHIC SURVEY
 FOUND MONUMENT
 BOLLARD
 CATCH BASIN - TYPE I
 CATCH BASIN - TYPE II
 COMMUNICATIONS MANHOLE
 FIRE HYDRANT
 GUY ANCHOR
 IRRIGATION CONTROL VALVE
 MAIL BOX UTILITY POLE
 UTILITY POLE
 POWER METER
 SEWER MANHOLE
 SIGN
 STREET LIGHT
 WATER VALVE
 CONIFEROUS TREE
 DECIDUOUS TREE
 ASPHALT
 ASPHALT HATCH
 CONCRETE HATCH
 ALDER
 CEDAR
 COTTONWOOD
 DECIDUOUS
 HEMLOCK
 MAPLE
 CONC WALK
 FACE VERTICAL CURB
 INVERT ELEVATION
 STOP BAR
 STORM DRAIN MANHOLE
 SOLID LOOKING LID
 WHEELCHAIR RAMP
 CROSSWALK

TAG TABLE

TAG #	RADIUS	DIRECTION	LENGTH
C1	131.00	46°00'00"	105.17
L1		N.88°45'11" W	50.00
L2		N.89°27'40" W	10.00

REVISION	DATE
1	ADD TOPO @ INTX OF 150TH ST AND 275AVE



MEAD GILMAN
LAND SURVEYORS
 P.O. BOX 280, WOODDALE, WA 98077 | PHONE: (425) 469-1257 | WWW.MEADGILMAN.COM

275TH AVE NE
 BOUNDARY & TOPOGRAPHIC SURVEY
BLUELINE
 25 CENTRAL WAY, SUITE 400
 KIRKLAND, WA 98033

DRAWN BY:	LSD
REVIEWED BY:	CSB
DATE:	12-03-2019
JOB NO.:	19142
SHEET	1 OF 2

BLUeline
 15200 52ND AVE. SO., SUITE 210
 SEATTLE, WA 98188
 P: 206.204.0507
 WWW.THEBLUelineGROUP.COM

SCALE:
AS NOTED

PROJECT MANAGER:
CHRIS PETERSEN

LANDSCAPE ARCHITECT:
DANIEL ROBBEN

DRAWN BY:
DANIEL ROBBEN

ISSUE DATE:
4/8/2020

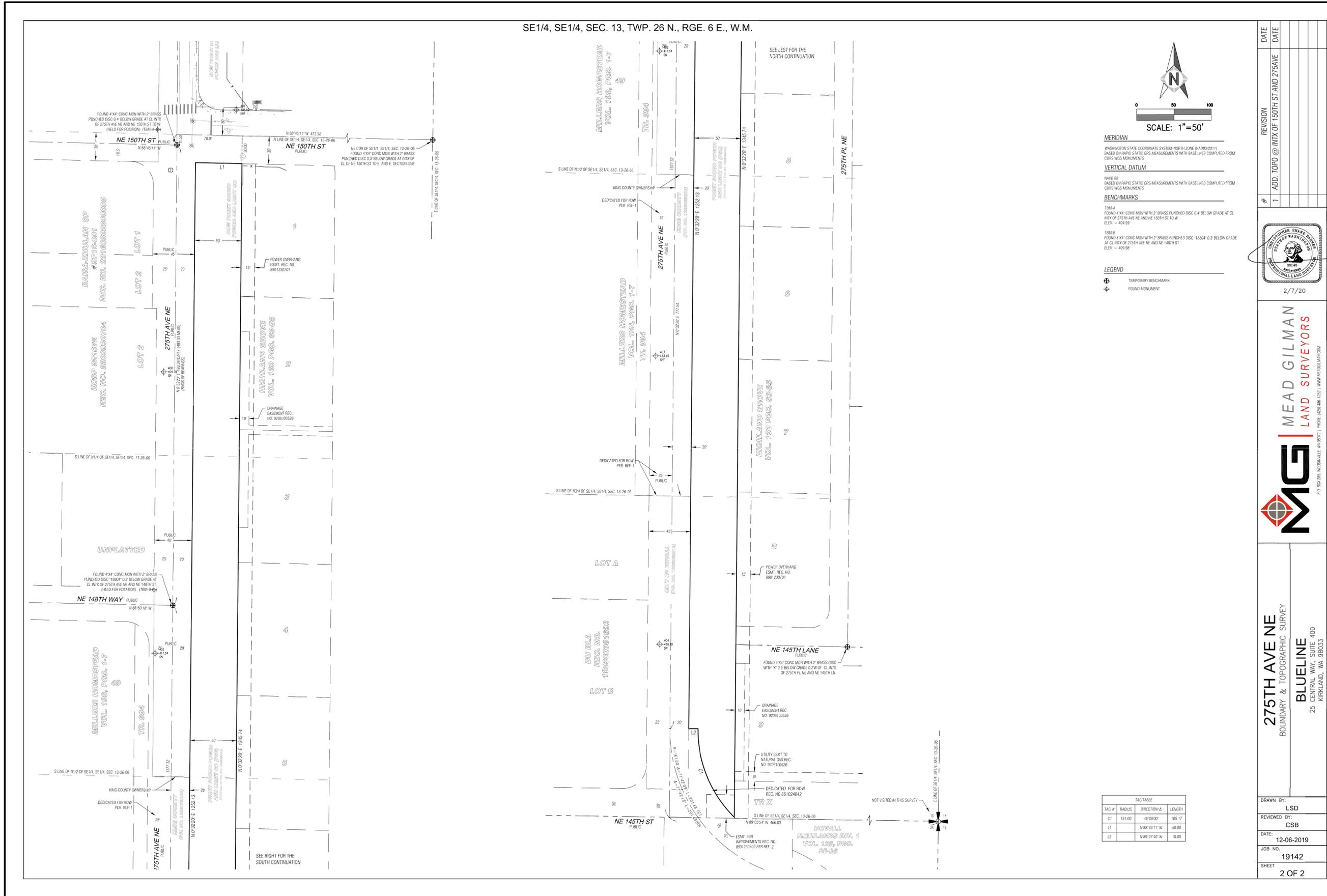
NO	DATE	BY	REVISIONS

SITE SURVEY
275th Avenue Complete Streets
Sidewalk Design
275th Avenue NE
Duvall, WA 98019
 Owner: City of Duvall, WA

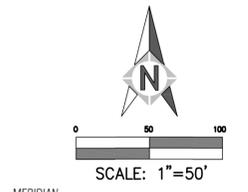
JOB NUMBER:
19-089

SHEET #:
G0.1

BID DOCUMENTS
 APRIL 8, 2020



SE1/4, SE1/4, SEC. 13, TWP. 26 N., RGE. 6 E., W.M.



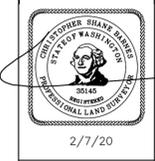
MERIDIAN
 WASHINGTON STATE COORDINATE SYSTEM-NORTH ZONE (NAD83/2011)
 BASED ON RAPID STATIC GPS MEASUREMENTS WITH BASELINES COMPUTED FROM
 CORS WGS MONUMENTS.

VERTICAL DATUM
 NAVD 88
 BASED ON RAPID STATIC GPS MEASUREMENTS WITH BASELINES COMPUTED FROM
 CORS WGS MONUMENTS.

BENCHMARKS
 B.M. A
 FOUND 4"x4" CONC MON WITH 2" BRASS PUNCHED DISC 0.4' BELOW GRADE AT CL
 INTX OF 275TH AVE NE AND NE 150TH ST TO W.
 ELEV. = 484.59
 B.M. B
 FOUND 4"x4" CONC MON WITH 2" BRASS PUNCHED DISC 1.885' 0.3' BELOW GRADE
 AT CL INTX OF 275TH AVE NE AND NE 148TH ST.
 ELEV. = 489.98

LEGEND
 TEMPORARY BENCHMARK
 FOUND MONUMENT

REVISION	DATE
1	ADD TOPO @ INTX OF 150TH ST AND 275AVE



MGL MEAD GILMAN
 LAND SURVEYORS
 P.O. BOX 280, WOODHALL, WA 98072 | PHONE: (425) 481-1252 | WWW.MGLDLM.COM

275TH AVE NE
 BOUNDARY & TOPOGRAPHIC SURVEY
BLUELINE
 25 CENTRAL WAY, SUITE 400
 KIRKLAND, WA 98033

DRAWN BY: **LSD**
 REVIEWED BY: **CSB**
 DATE: **12-06-2019**
 JOB NO.: **19142**
 SHEET: **2 OF 2**

TAG #	RADIUS	DIRECTION/A	LENGTH
CT	131.00	46°00'00"	105.17
L1		N 88°45'11" W	50.00
L2		N 89°27'40" W	10.00

BLUeline
 15200 52ND AVE. SO., SUITE 210
 SEATTLE, WA 98188
 P: 206.204.0507
 WWW.THEBLUelineGROUP.COM

SCALE:
AS NOTED
PROJECT MANAGER:
CHRIS PETERSEN
LANDSCAPE ARCHITECT:
DANIEL ROBBERN
DRAWN BY:
DANIEL ROBBERN
ISSUE DATE:
4/8/2020

NO	DATE	BY	REVISIONS

SITE SURVEY
275th Avenue Complete Streets
Sidewalk Design
275th Avenue NE
Duvall, WA 98019
 Owner: City of Duvall, WA

JOB NUMBER:
19-089
SHEET #:
G0.2
BID DOCUMENTS
 APRIL 8, 2020



BLUELINE

15200 52ND AVE. SO., SUITE 210
SEATTLE, WA 98188
P: 206.224.0507
WWW.THEBLUELINEGROUP.COM

SCALE:
AS NOTED

PROJECT MANAGER:
CHRIS PETERSEN

LANDSCAPE ARCHITECT:
DANIEL ROBBERN

DRAWN BY:
DANIEL ROBBERN

ISSUE DATE:
4/8/2020

REVISIONS

NO DATE BY

NO

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KEY NOTES:

1. HIGH VISIBILITY SILT/CONSTRUCTION FENCING PER I-30.17-00/L2.1, SIM. INSTALL AT BACK OF CURB AND LOCATIONS SHOWN.
2. TREE PROTECTION FENCING PER I-10.10-01/L2.2, SIM. INSTALL AT LOCATIONS AS SHOWN AND DIRECTED BY THE ARBORIST.
3. TREE CRITICAL ROOT ZONE AND INNER CRITICAL ROOT ZONE. ALL WORK PERFORMED WITHIN ROOT ZONES OF TREES TO BE RETAINED SHALL BE DONE WITH THE ARBORIST PRESENT, TYP.
4. INLET PROTECTION PER I-40.20-00/L2.1, TYP.
5. CLEARING AND GRADING LIMITS. REMOVE ALL WEEDS AND VEGETATION TO BARE SOIL PER NOTES 7-11
6. EXISTING CATCH BASIN TO REMAIN AND BE PROTECTED.
7. EXISTING FIRE HYDRANT AND BOLLARDS TO REMAIN AND BE PROTECTED.
8. EXISTING CURB RAMP TO REMAIN AND BE PROTECTED.
9. EXISTING SIDEWALK AND CURB RAMP TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
10. EXISTING CURB AND GUTTER TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
11. EXISTING TREE TO BE REMOVED BY OWNER, TYP.
12. REMOVE EXISTING CROSSWALK STRIPING

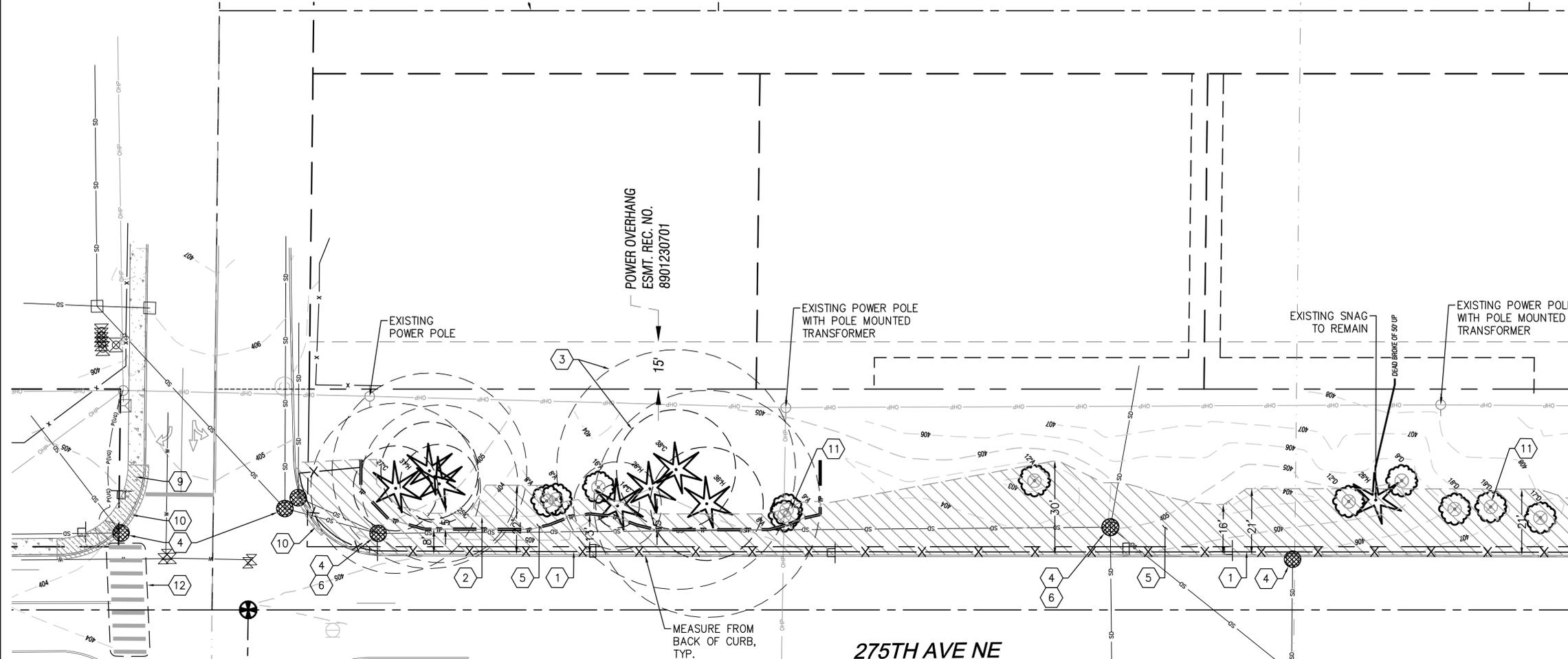
MATCHLINE - SEE SHEET L0.2

LEGEND

- HIGH VISIBILITY CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- SILT FENCE
- INLET PROTECTION
- CLEARING AND GRADING LIMITS
- TREE TO BE REMOVED BY OWNER



NORTH



NOTES:

1. SEE SURVEY SHEETS G0.1 AND G0.2 FOR EXISTING CONDITIONS.
2. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGE SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
3. INSTALL SILT FENCE PER I-30.15-02/L2.2 AT ANY LOCATION IN WHICH EROSION BECOMES VISIBLE.
4. ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN A SAFE AND LEGAL MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISPOSAL COSTS.
5. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION AND NOT COVERED BY BUILDINGS OR PAVEMENT SHALL BE AMENDED WITH COMPOST AND HYDROSEEDING OR PLANTED TO MATCH EXISTING PER SWMMWW BMPT 5.13 AND AS NOTED ON DETAIL FIGURE V-5.3.3/L4.1
6. TREE PROTECTION REQUIRED FOR ALL TREES TO REMAIN ADJACENT TO AREAS OF SITE IMPROVEMENTS. SEE ARBORIST REPORT AND TREE RETENTION PLAN.
7. EXISTING PLANTINGS, UTILITIES AND IMPROVEMENTS TO REMAIN AND BE PROTECTED UNLESS NOTED TO BE REMOVED ON PLANS. THE CONTRACTOR SHALL REPAIR ANY DAMAGES CAUSED BY CONSTRUCTION ACTIVITIES.
8. ALL SEEDING AND PLANTING AREAS SHALL BE WEED FREE PRIOR TO APPLICATION OF SOIL AMENDMENT, TOPSOIL AND COMPOST.
9. CLEARING OF VEGETATION WITHIN TREE PROTECTION FENCING SHALL BE DONE BY HAND AS TO NOT DISTURB EXISTING TREE ROOTS.
10. ALL PLANTING AREAS SHALL BE TREATED WITH AN APPROVED NON-SELECTIVE, NON-RESIDUAL HERBICIDE A MINIMUM OF TWO WEEKS PRIOR TO PLANTING. PLANTING SHALL NOT OCCUR UNTIL ALL EXISTING UNDESIRABLE VEGETATION IS DEAD.
11. KNOTWEED AND BLACKBERRY SHALL BE TREATED WITH AN APPROVED NON-SELECTIVE, NON-RESIDUAL HERBICIDE A MINIMUM OF TWO TIMES PRIOR TO PLANTING. THE SECOND APPLICATION OF HERBICIDE SHALL BE MADE AFTER A MINIMUM OF SIX WEEKS OR WHEN THE REMAINING KNOTWEED AND BLACKBERRY HAVE GROWN TO A HEIGHT OF 6 TO 12 INCHES, WHICHEVER IS EARLIER.
12. ALL KING COUNTY CLASS A AND CLASS B NOXIOUS WEEDS SHALL BE ERADICATED.

22x34 Apr 08, 2020 - 10:04pm - User: drabben L: \\Projects\LA19-089-275th Ave NE Complete Streets - Duvall, WA\04 - Construction Documents\19089 - L0X Site Demo Plans.dwg

TESC AND DEMOLITION PLAN
275th Avenue Complete Streets
Sidewalk Design
 275th Avenue NE
 Duvall, WA 98019
 Owner: City of Duvall, WA



JOB NUMBER:

19-089

SHEET #:

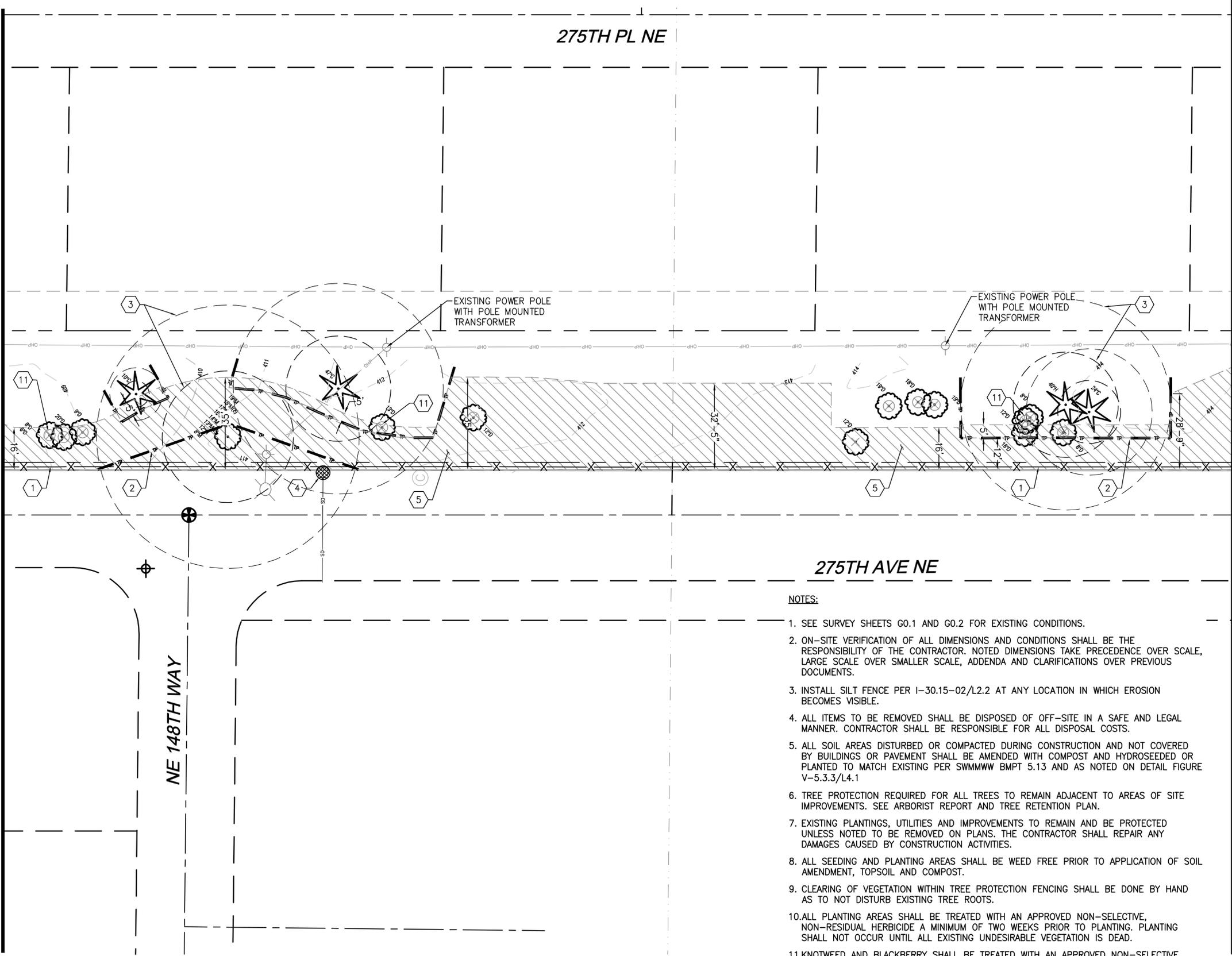
L0.1

BID DOCUMENTS
APRIL 8, 2020

22x34
 Apr 08, 2020 - 10:04am - User: drabben
 L: \\Projects\LA19-089-275th Ave NE Complete Streets - Duval, WA\04 - Construction Documents\19089 - LOX Site Demo Plans.dwg

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MATCHLINE - SEE SHEET L0.1



MATCHLINE - SEE SHEET L0.3

275TH PL NE

275TH AVE NE

NE 148TH WAY

EXISTING POWER POLE WITH POLE MOUNTED TRANSFORMER

EXISTING POWER POLE WITH POLE MOUNTED TRANSFORMER

NOTES:

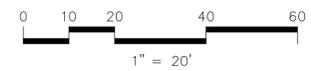
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3. INSTALL SILT FENCE PER I-30.15-02/L2.2 AT ANY LOCATION IN WHICH EROSION BECOMES VISIBLE.
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5. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION AND NOT COVERED BY BUILDINGS OR PAVEMENT SHALL BE AMENDED WITH COMPOST AND HYDROSEEDING OR PLANTED TO MATCH EXISTING PER SWMMWW BMPT 5.1.3 AND AS NOTED ON DETAIL FIGURE V-5.3.3/L4.1
6. TREE PROTECTION REQUIRED FOR ALL TREES TO REMAIN ADJACENT TO AREAS OF SITE IMPROVEMENTS. SEE ARBORIST REPORT AND TREE RETENTION PLAN.
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12. ALL KING COUNTY CLASS A AND CLASS B NOXIOUS WEEDS SHALL BE ERADICATED.

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4. INLET PROTECTION PER I-40.20-00/L2.1, TYP.
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10. EXISTING CURB AND GUTTER TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
11. EXISTING TREE TO BE REMOVED BY OWNER, TYP.
12. REMOVE EXISTING CROSSWALK STRIPING.

LEGEND

- HIGH VISIBILITY CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- SILT FENCE
- INLET PROTECTION
- CLEARING AND GRADING LIMITS
- TREE TO BE REMOVED BY OWNER



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SCALE:
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 PROJECT MANAGER:
 CHRIS PETERSEN
 LANDSCAPE ARCHITECT:
 DANIEL ROBBERN
 DRAWN BY:
 DANIEL ROBBERN
 ISSUE DATE:
 4/8/2020

NO	DATE	BY	REVISIONS

TESC AND DEMOLITION PLAN
 275th Avenue Complete Streets
 Sidewalk Design
 275th Avenue NE
 Duval, WA 98019
 Owner: City of Duval, WA



JOB NUMBER:
19-089
 SHEET #:
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 APRIL 8, 2020



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LANDSCAPE ARCHITECT:
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DRAWN BY:
DANIEL ROBBERN

ISSUE DATE:
4/8/2020

REVISIONS

NO. DATE BY

TESC AND DEMOLITION PLAN
275th Avenue Complete Streets
Sidewalk Design
275th Avenue NE
Duvall, WA 98019
Owner: City of Duvall, WA



JOB NUMBER:

19-089

SHEET #:

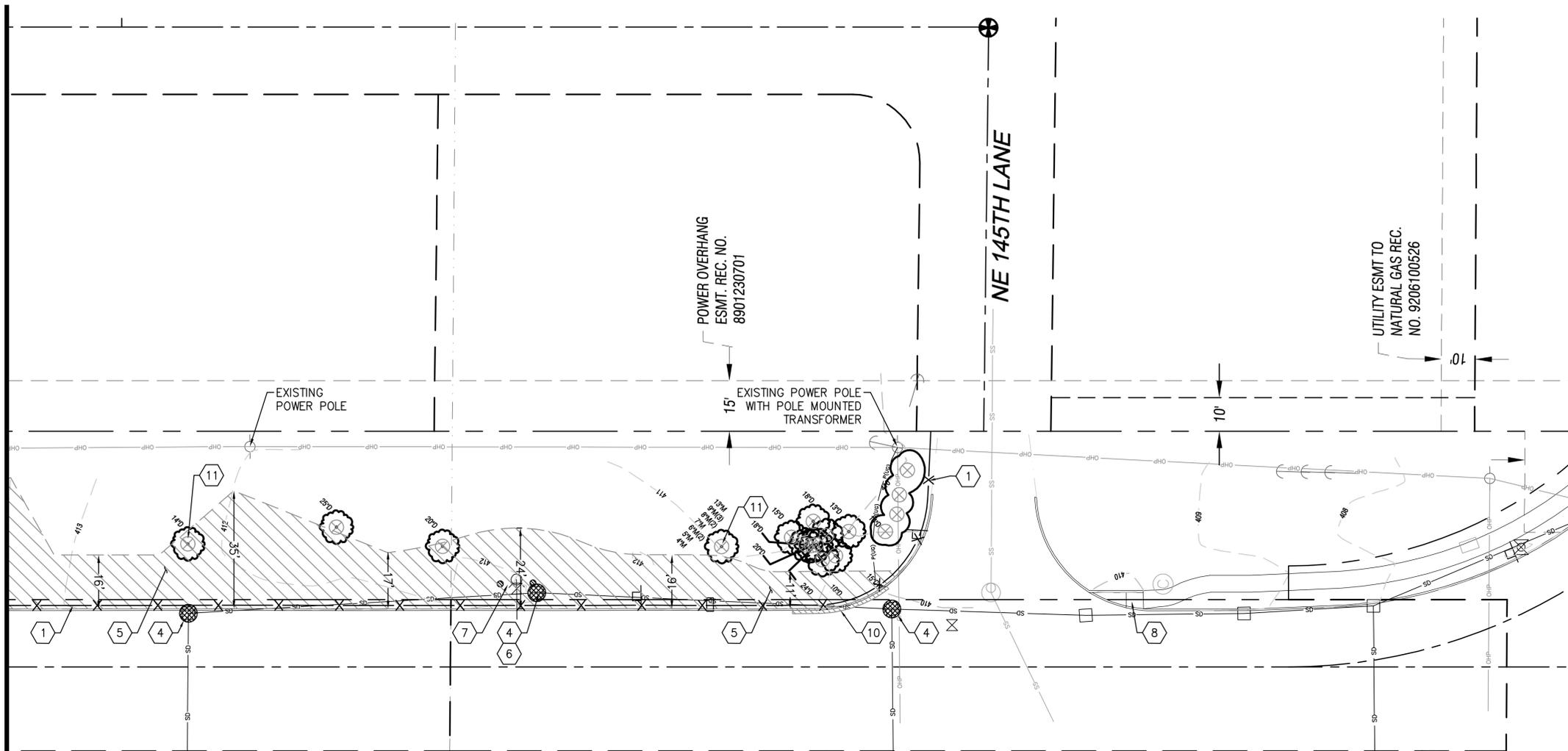
L0.3

BID DOCUMENTS
APRIL 8, 2020

KEY NOTES:

1. HIGH VISIBILITY SILT/CONSTRUCTION FENCING PER I-30.17-00/L2.1, SIM. INSTALL AT BACK OF CURB AND LOCATIONS SHOWN.
2. TREE PROTECTION FENCING PER I-10.10-01/L2.2, SIM. INSTALL AT LOCATIONS AS SHOWN AND DIRECTED BY THE ARBORIST.
3. TREE CRITICAL ROOT ZONE AND INNER CRITICAL ROOT ZONE. ALL WORK PERFORMED WITHIN ROOT ZONES OF TREES TO BE RETAINED SHALL BE DONE WITH THE ARBORIST PRESENT, TYP.
4. INLET PROTECTION PER I-40.20-00/L2.1, TYP.
5. CLEARING AND GRADING LIMITS. REMOVE ALL WEEDS AND VEGETATION TO BARE SOIL PER NOTES 7-11
6. EXISTING CATCH BASIN TO REMAIN AND BE PROTECTED.
7. EXISTING FIRE HYDRANT AND BOLLARDS TO REMAIN AND BE PROTECTED.
8. EXISTING CURB RAMP TO REMAIN AND BE PROTECTED.
9. EXISTING SIDEWALK AND CURB RAMP TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
10. EXISTING CURB AND GUTTER TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
11. EXISTING TREE TO BE REMOVED BY OWNER, TYP
12. REMOVE EXISTING CROSSWALK STRIPING.

MATCHLINE - SEE SHEET L0.2

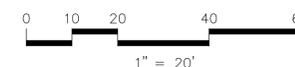


NOTES:

1. SEE SURVEY SHEETS G0.1 AND G0.2 FOR EXISTING CONDITIONS.
2. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGE SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
3. INSTALL SILT FENCE PER I-30.15-02/L2.2 AT ANY LOCATION IN WHICH EROSION BECOMES VISIBLE.
4. ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN A SAFE AND LEGAL MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISPOSAL COSTS.
5. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION AND NOT COVERED BY BUILDINGS OR PAVEMENT SHALL BE AMENDED WITH COMPOST AND HYDROSEEDING OR PLANTED TO MATCH EXISTING PER SWMMWW BMPT 5.13 AND AS NOTED ON DETAIL FIGURE V-5.3.3/L4.1
6. TREE PROTECTION REQUIRED FOR ALL TREES TO REMAIN ADJACENT TO AREAS OF SITE IMPROVEMENTS. SEE ARBORIST REPORT AND TREE RETENTION PLAN.
7. EXISTING PLANTINGS, UTILITIES AND IMPROVEMENTS TO REMAIN AND BE PROTECTED UNLESS NOTED TO BE REMOVED ON PLANS. THE CONTRACTOR SHALL REPAIR ANY DAMAGES CAUSED BY CONSTRUCTION ACTIVITIES.
8. ALL SEEDING AND PLANTING AREAS SHALL BE WEED FREE PRIOR TO APPLICATION OF SOIL AMENDMENT, TOPSOIL AND COMPOST.
9. CLEARING OF VEGETATION WITHIN TREE PROTECTION FENCING SHALL BE DONE BY HAND AS TO NOT DISTURB EXISTING TREE ROOTS.
10. ALL PLANTING AREAS SHALL BE TREATED WITH AN APPROVED NON-SELECTIVE, NON-RESIDUAL HERBICIDE A MINIMUM OF TWO WEEKS PRIOR TO PLANTING. PLANTING SHALL NOT OCCUR UNTIL ALL EXISTING UNDESIRABLE VEGETATION IS DEAD.
11. KNOTWEED AND BLACKBERRY SHALL BE TREATED WITH AN APPROVED NON-SELECTIVE, NON-RESIDUAL HERBICIDE A MINIMUM OF TWO TIMES PRIOR TO PLANTING. THE SECOND APPLICATION OF HERBICIDE SHALL BE MADE AFTER A MINIMUM OF SIX WEEKS OR WHEN THE REMAINING KNOTWEED AND BLACKBERRY HAVE GROWN TO A HEIGHT OF 6 TO 12 INCHES, WHICHEVER IS EARLIER.
12. ALL KING COUNTY CLASS A AND CLASS B NOXIOUS WEEDS SHALL BE ERADICATED.

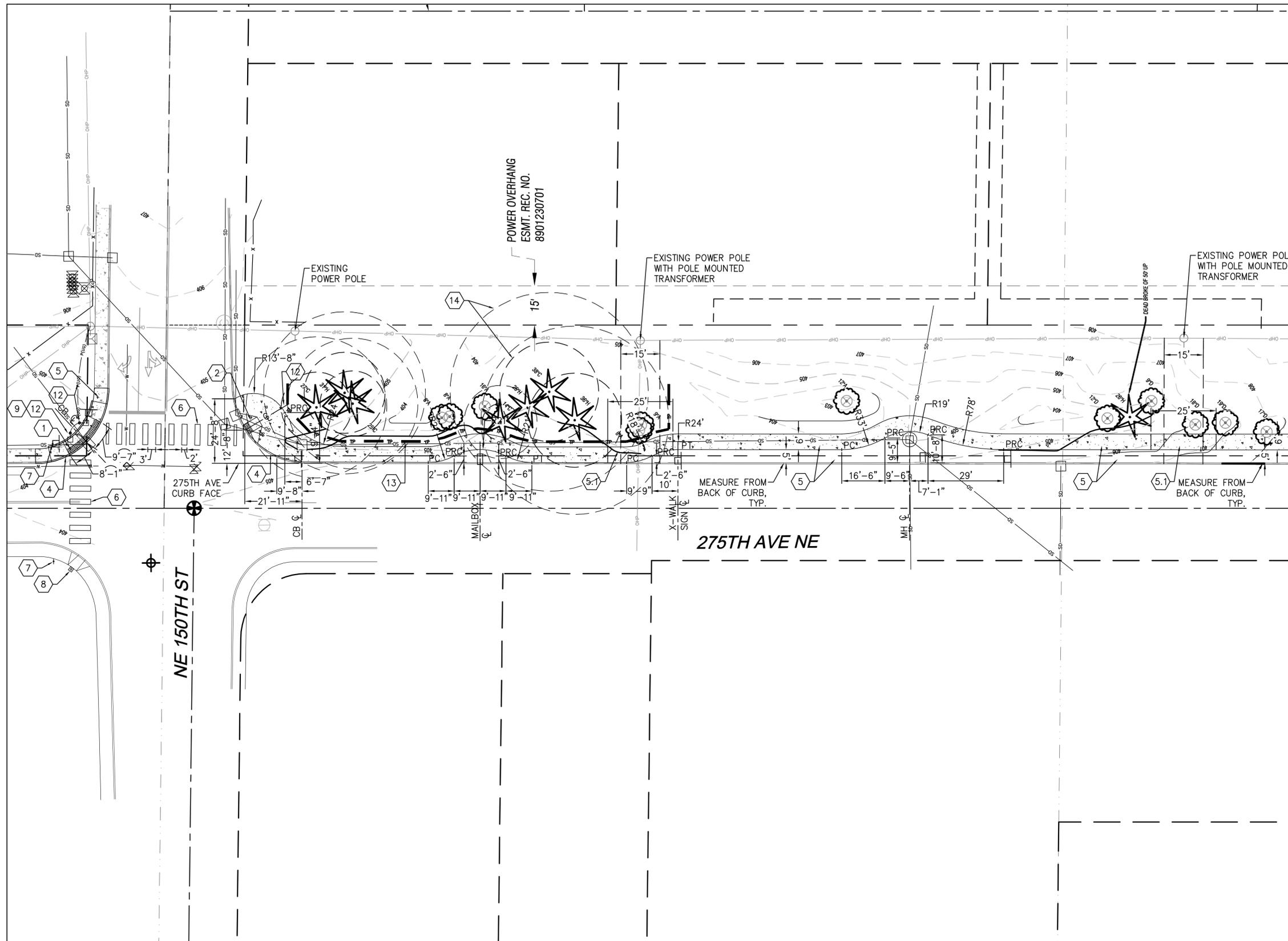
LEGEND

- HIGH VISIBILITY CONSTRUCTION FENCE
- TREE PROTECTION FENCE
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MATCHLINE - SEE SHEET L1.2

KEY NOTES:

1. CURB RAMP PER DDS 03-04-003/L2.3, SIM.
2. CURB RAMP PER DDS 03-04-002/L2.3, SIM.
3. END SIDEWALK RAMP PER DDS 03-04-005/L2.3
4. VERTICAL CURB AND GUTTER PER 03-03-002A/L2.3
5. 5' PLANTER STRIP, 6' SIDEWALK AND JOINTING PER DDS 03-03-005B/L2.3, SIM.
- 5.1. INSTALL 25' OF 6" THICK CONCRETE SIDEWALK AT POWER POLE ACCESS.
6. THERMOPLASTIC CROSSWALK STRIPING PER WSDOT STANDARD PLAN M-15.10-01/L2.2 SIM.
7. ADDITIVE #1: SOLAR-POWERED RECTANGULAR RAPID FLASHING BEACON PEDESTRIAN CROSSWALK SYSTEM. SEE DETAIL 1/L2.4 INSTALL PER MANUFACTURERS RECOMMENDATIONS.
8. ADDITIVE #1: ACCESSIBLE PEDESTRIAN PUSHBUTTON POST, INSTALL PEDESTRIAN PUSHBUTTON ASSEMBLY AND INSTRUCTIONAL SIGN FROM PEDESTRIAN CROSSWALK SYSTEM, SEE NOTE 7.
9. ADDITIVE #1: PEDESTRIAN PUSHBUTTON ASSEMBLY AND INSTRUCTIONAL SIGN FROM PEDESTRIAN CROSSWALK SYSTEM, SEE NOTE 7. COORDINATE INSTALLATION ON NEW STREETLIGHT POLE WITH PSE.
10. ADDITIVE #2: EXERCISE STATION EQUIPMENT, OWNER FURNISHED CONTRACTOR INSTALLED, SEE DETAIL 3/L2.4
11. ADDITIVE #2: EXERCISE AREA PERIMETER CURB AND ENGINEERED WOOD FIBER SURFACING, SEE DETAIL 2/L2.4
12. ADDITIVE #3: INSTALL CONDUIT RUN FROM EXISTING POWER POLE AND STREET LIGHT TUBE PER PSE SPECIFICATIONS, SEE SHEET L2.5. FIELD VERIFY LOCATIONS WITH PSE. STREETLIGHT POLES AND FIXTURES INSTALLED BY OTHERS.
13. TREE PROTECTION FENCING PER 1-10.10-01/L2.2, SIM. INSTALL AT LOCATIONS AS SHOWN AND DIRECTED BY THE ARBORIST.
14. TREE CRITICAL ROOT ZONE AND INNER CRITICAL. ALL WORK PERFORMED WITHIN ROOT ZONES OF TREES TO BE RETAINED SHALL BE DONE WITH THE ARBORIST PRESENT, TYP.
15. BENCHES, OWNER FURNISHED OWNER INSTALLED. CONCRETE PAD INSTALLED BY CONTRACTOR.

ABBREVIATIONS:

- CL = CENTERLINE
- CB = CATCH BASIN
- FH = FIRE HYDRANT
- MH = MANHOLE
- PC = POINT OF CURVATURE
- PRC = POINT OF REVERSE CURVATURE
- PT = POINT OF TANGENCY
- R = RADIUS
- RP = RADIUS POINT



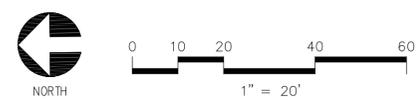
SCALE:
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 PROJECT MANAGER:
 CHRIS PETERSEN
 LANDSCAPE ARCHITECT:
 DANIEL ROBBERN
 DRAWN BY:
 DANIEL ROBBERN
 ISSUE DATE:
 4/8/2020

NO	DATE	BY	REVISIONS

SITE LAYOUT PLAN
 275th Avenue Complete Streets
 Sidewalk Design
 275th Avenue NE
 Duval, WA 98019
 Owner: City of Duval, WA

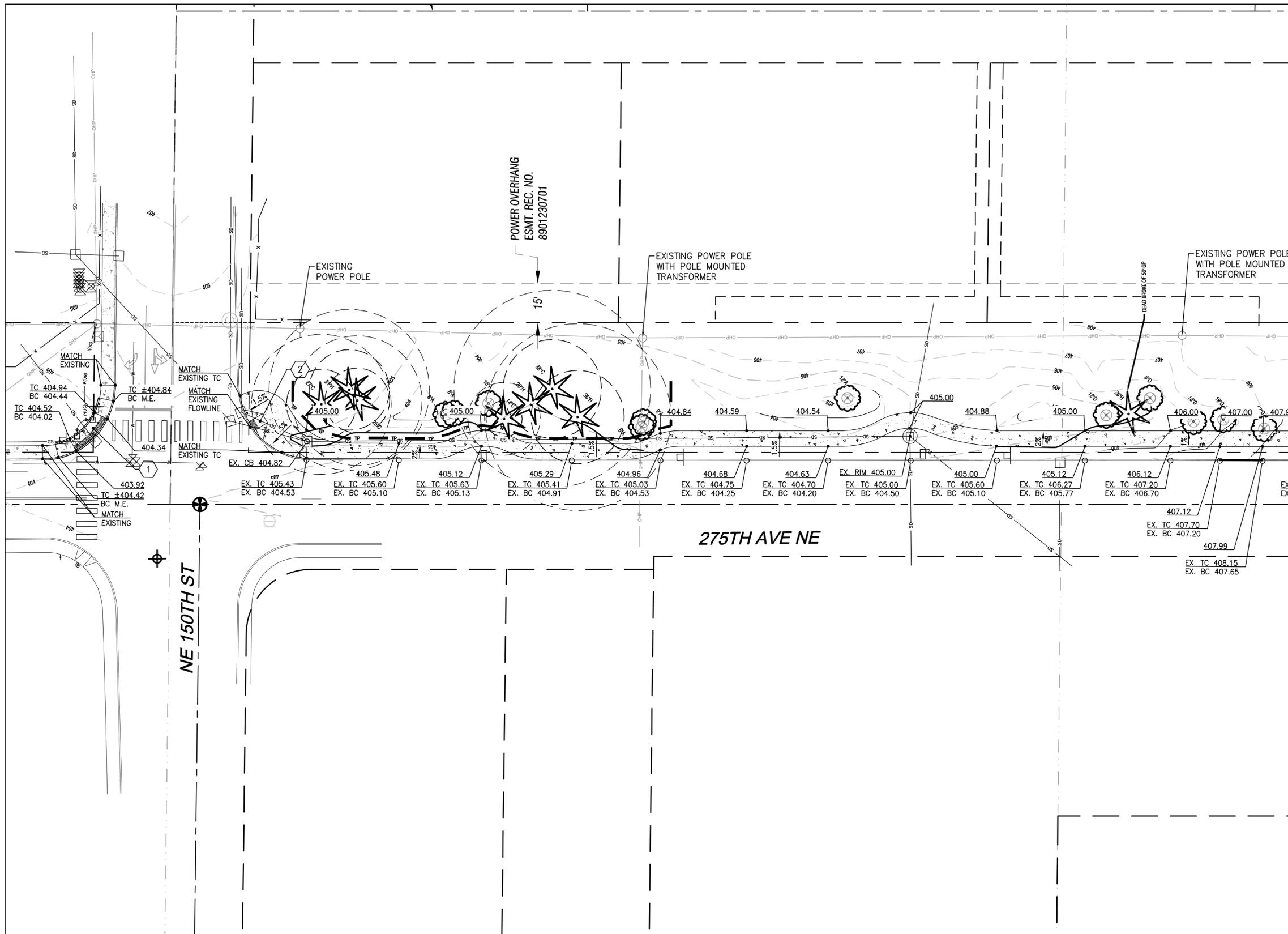


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MATCHLINE - SEE SHEET L1.5

KEY NOTES:

1. CURB RAMP PER DDS 03-04-003, SIM. GRADE RAMP AS SHOWN IN DETAIL.
2. CURB RAMP PER DDS 03-04-002, SIM. GRADE RAMP AS SHOWN IN DETAIL.
3. END SIDEWALK RAMP PER DDS 03-04-005. GRADE RAMP AS SHOWN IN DETAIL.

ABBREVIATIONS:

- TC = TOP OF CURB
 BC = BOTTOM OF CURB (FLOWLINE)
 M.E. = MATCH EXISTING

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LANDSCAPE ARCHITECT:
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DRAWN BY:
 DANIEL ROBBERN

ISSUE DATE:
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SITE GRADING PLAN
275th Avenue Complete Streets
Sidewalk Design
 275th Avenue NE
 Duvall, WA 98019
 Owner: City of Duvall, WA



JOB NUMBER:
19-089

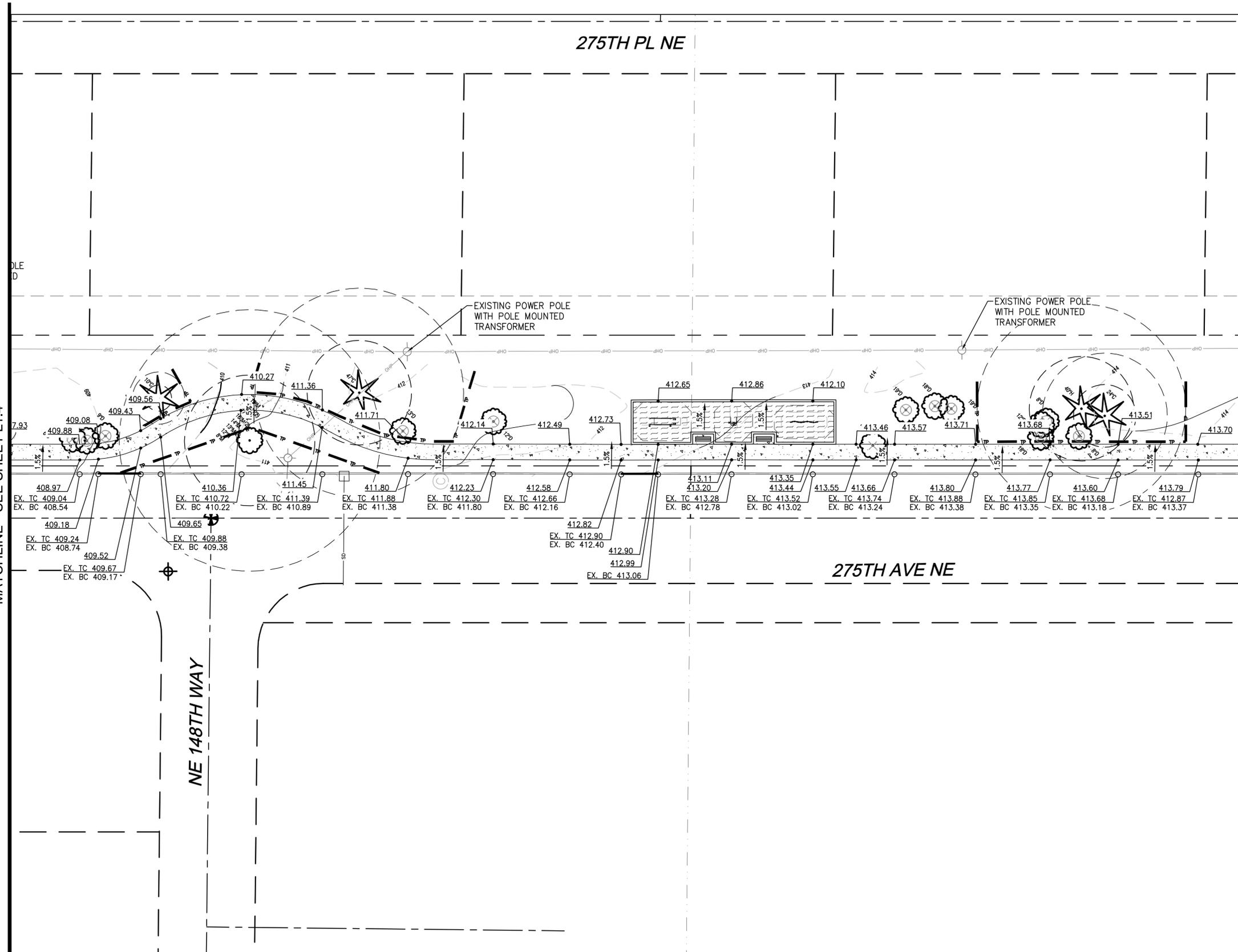
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L1.4

BID DOCUMENTS
 APRIL 8, 2020



MATCHLINE - SEE SHEET L1.4

MATCHLINE - SEE SHEET L1.6



KEY NOTES:

1. CURB RAMP PER DDS 03-04-003, SIM. GRADE RAMP AS SHOWN IN DETAIL.
2. CURB RAMP PER DDS 03-04-002, SIM. GRADE RAMP AS SHOWN IN DETAIL.
3. END SIDEWALK RAMP PER DDS 03-04-005, GRADE RAMP AS SHOWN IN DETAIL.

ABBREVIATIONS:

- TC = TOP OF CURB
- BC = BOTTOM OF CURB (FLOWLINE)
- M.E. = MATCH EXISTING

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LANDSCAPE ARCHITECT:
 DANIEL ROBBERN

DRAWN BY:
 DANIEL ROBBERN

ISSUE DATE:
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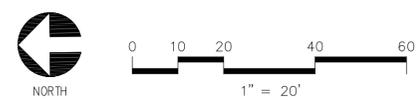
SITE GRADING PLAN
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 Sidewalk Design
 275th Avenue NE
 Duvall, WA 98019
 Owner: City of Duvall, WA



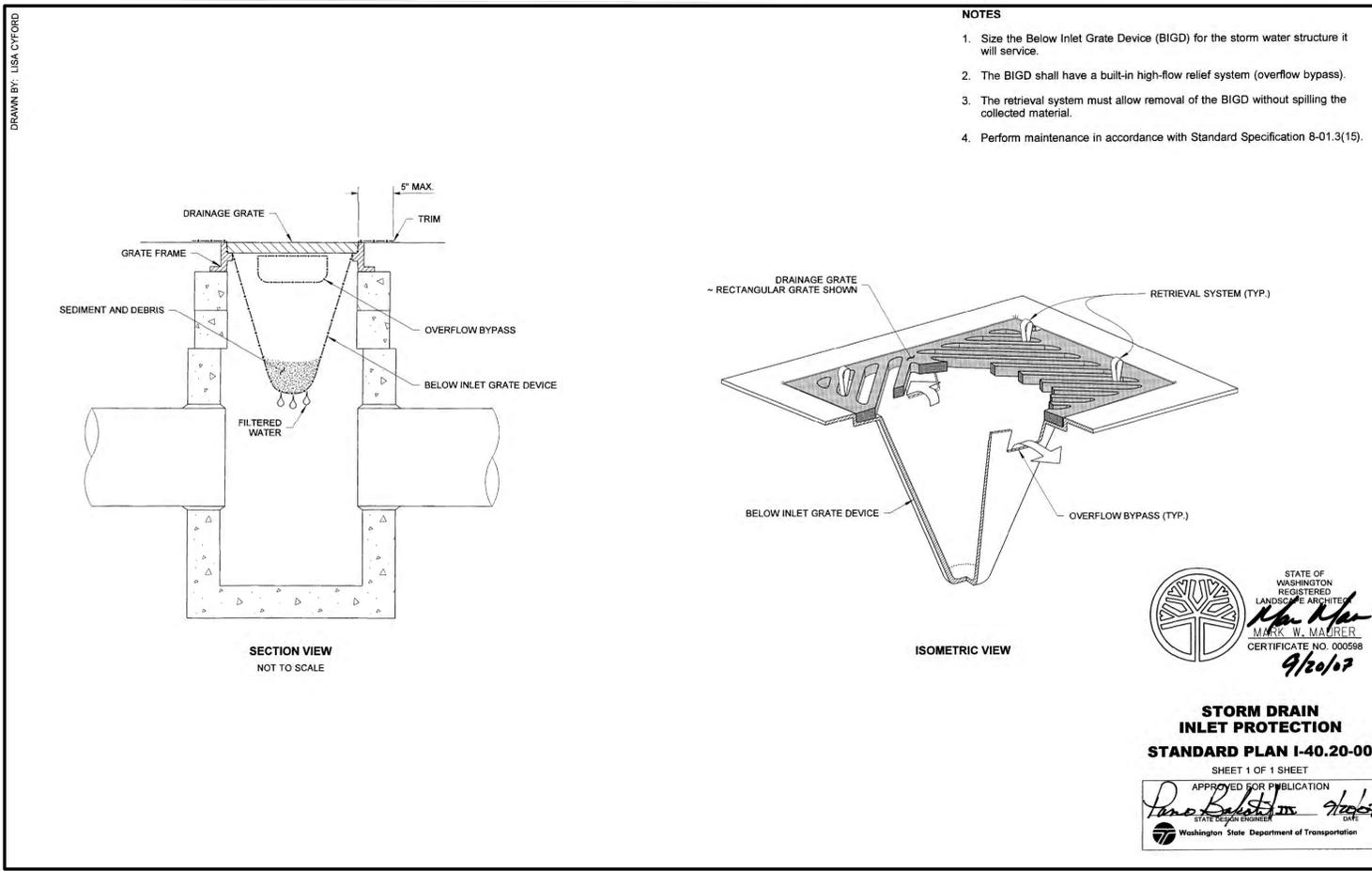
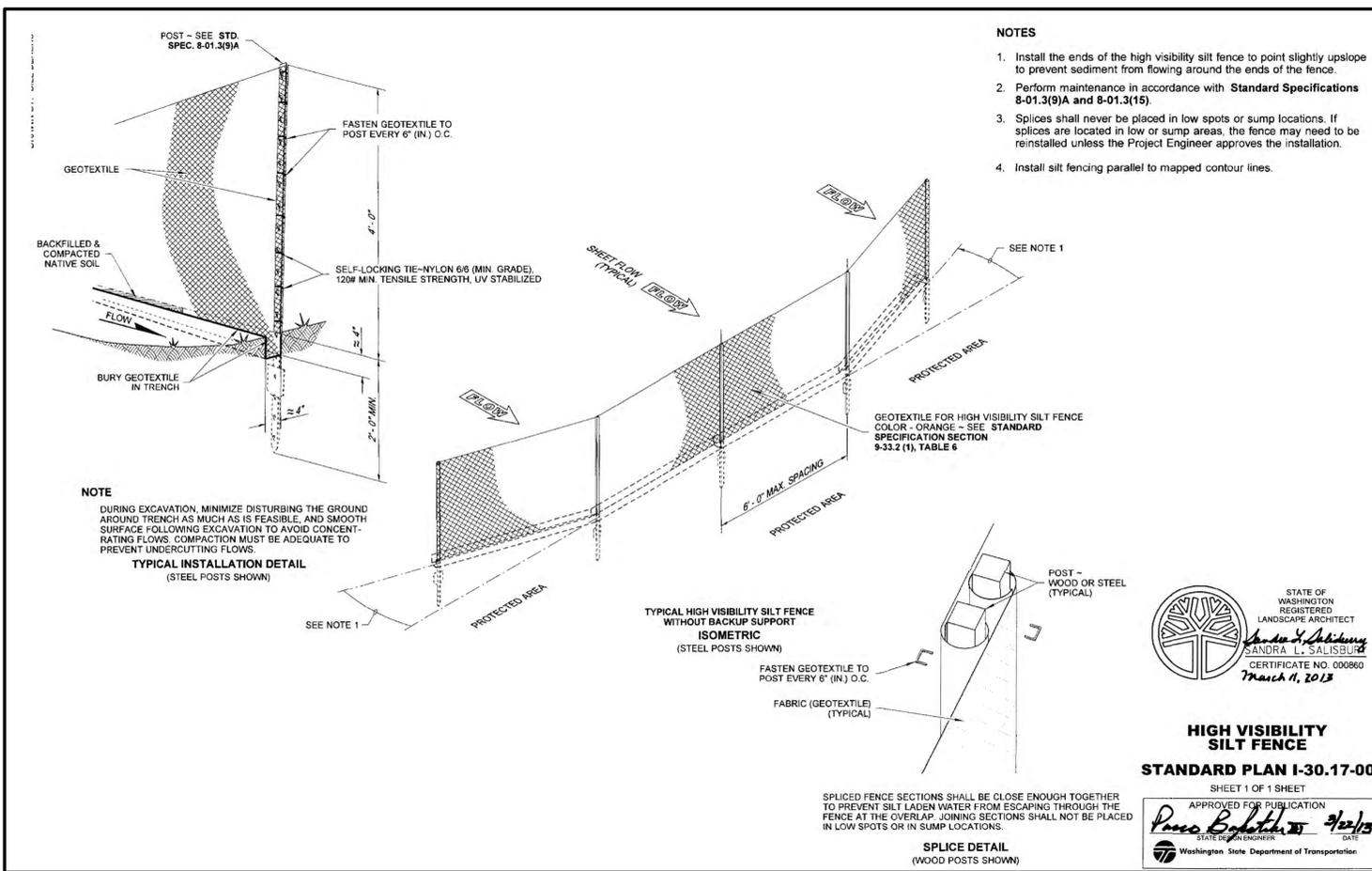
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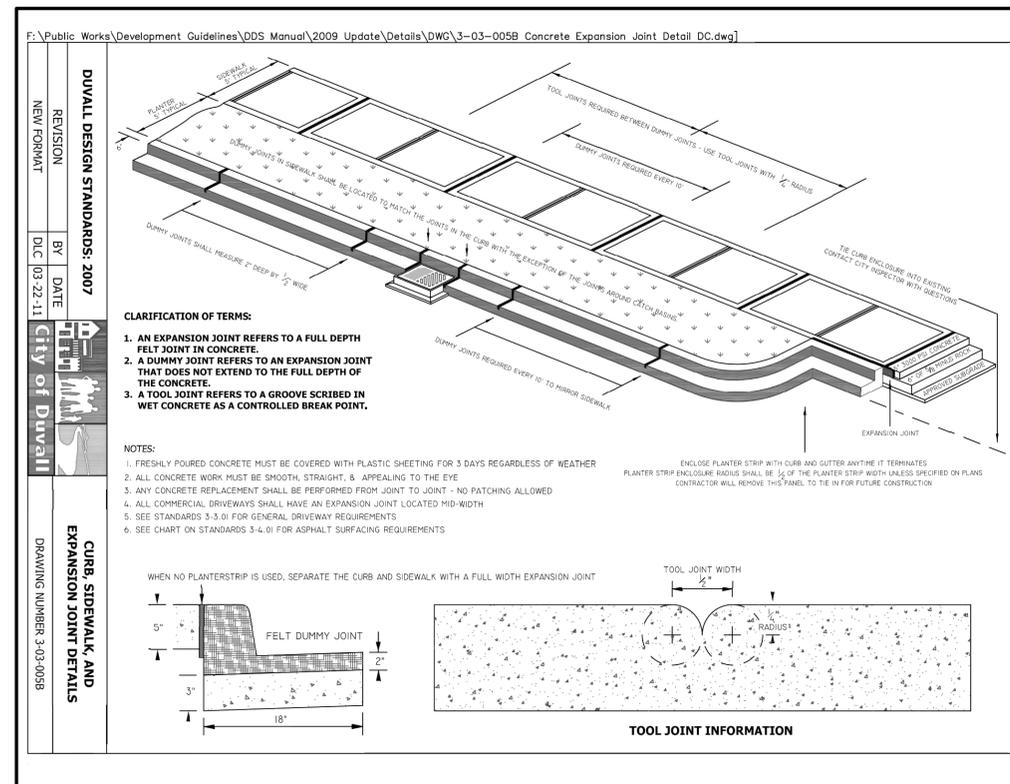
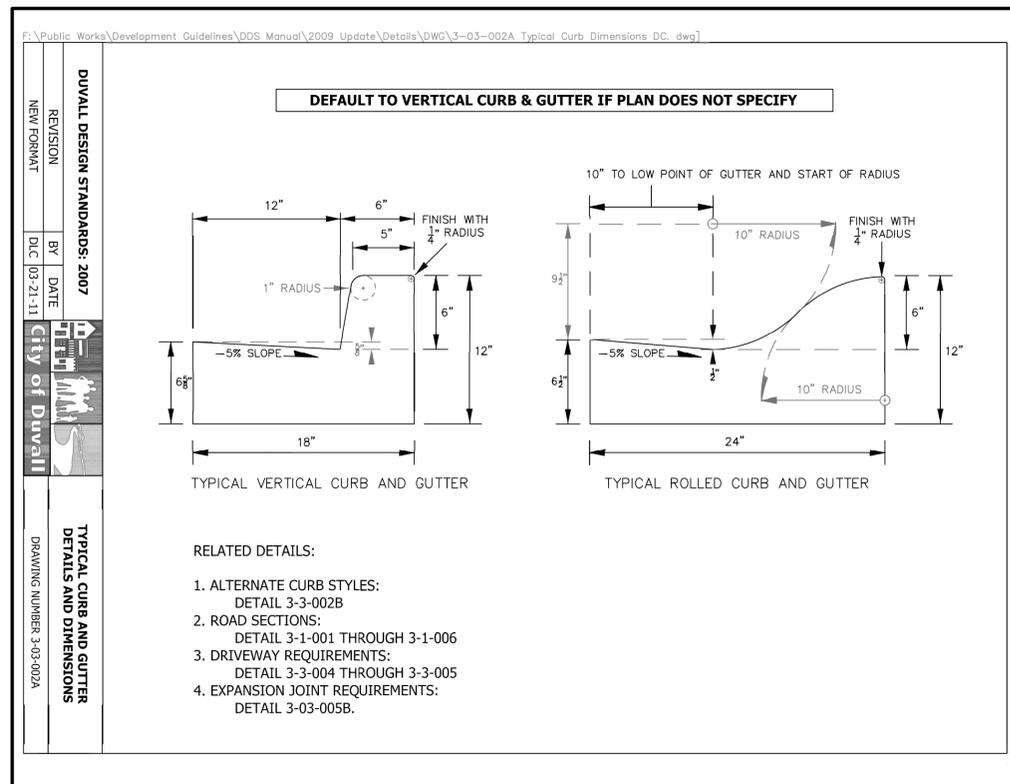
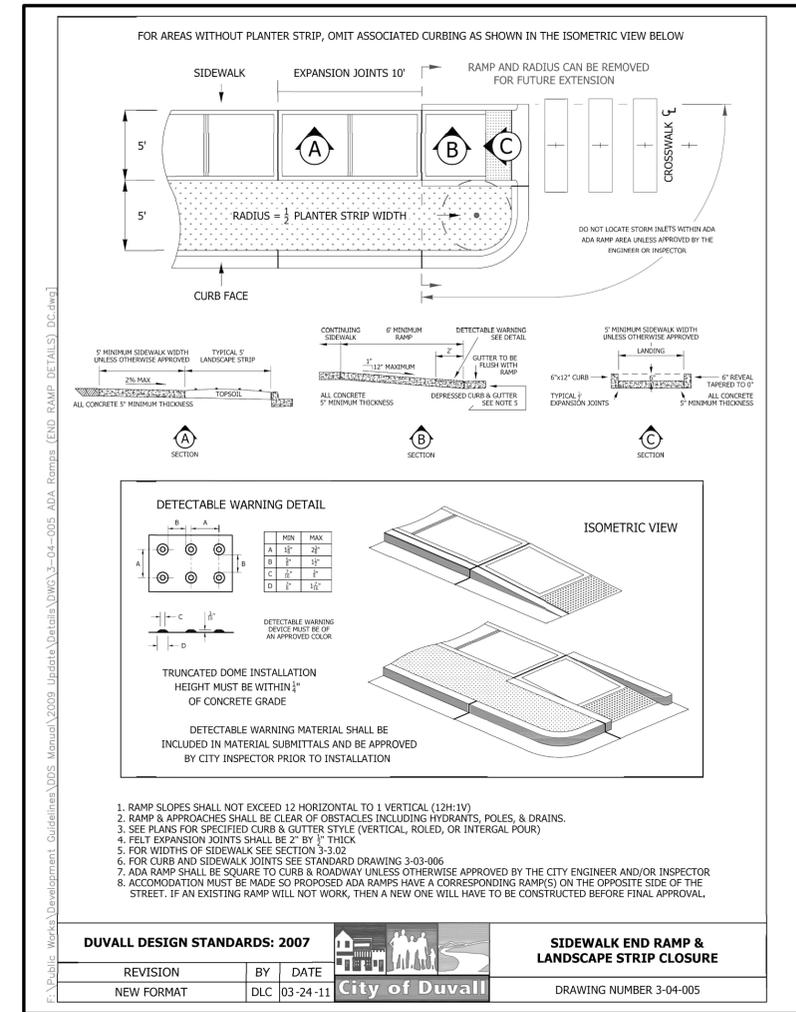
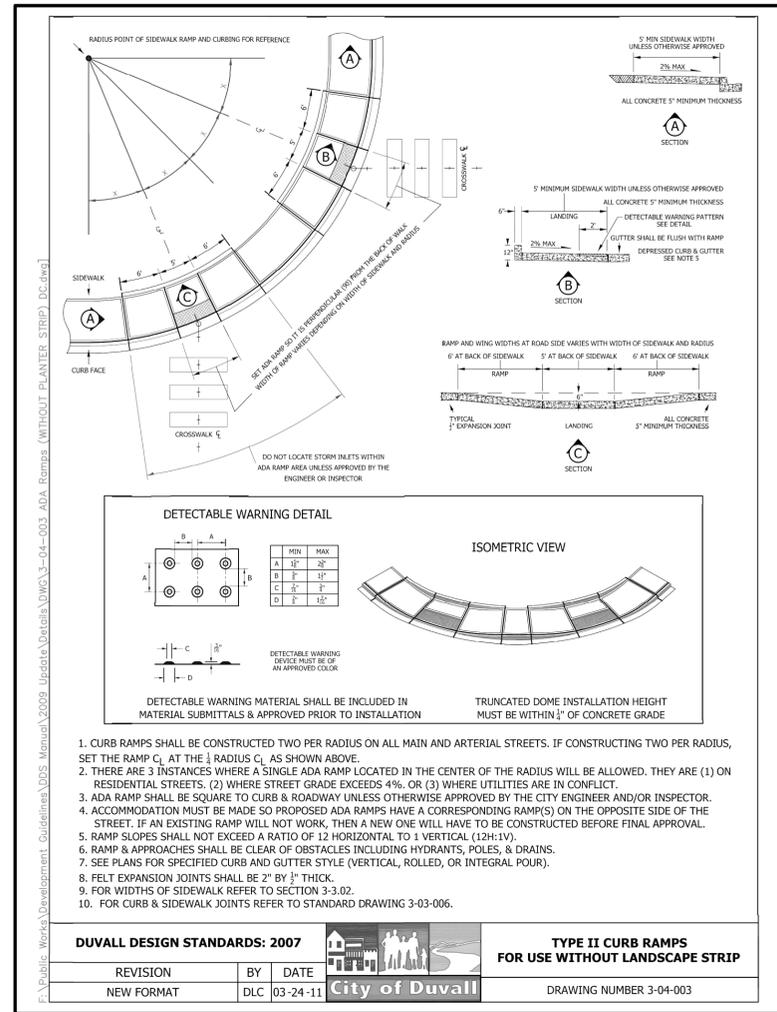
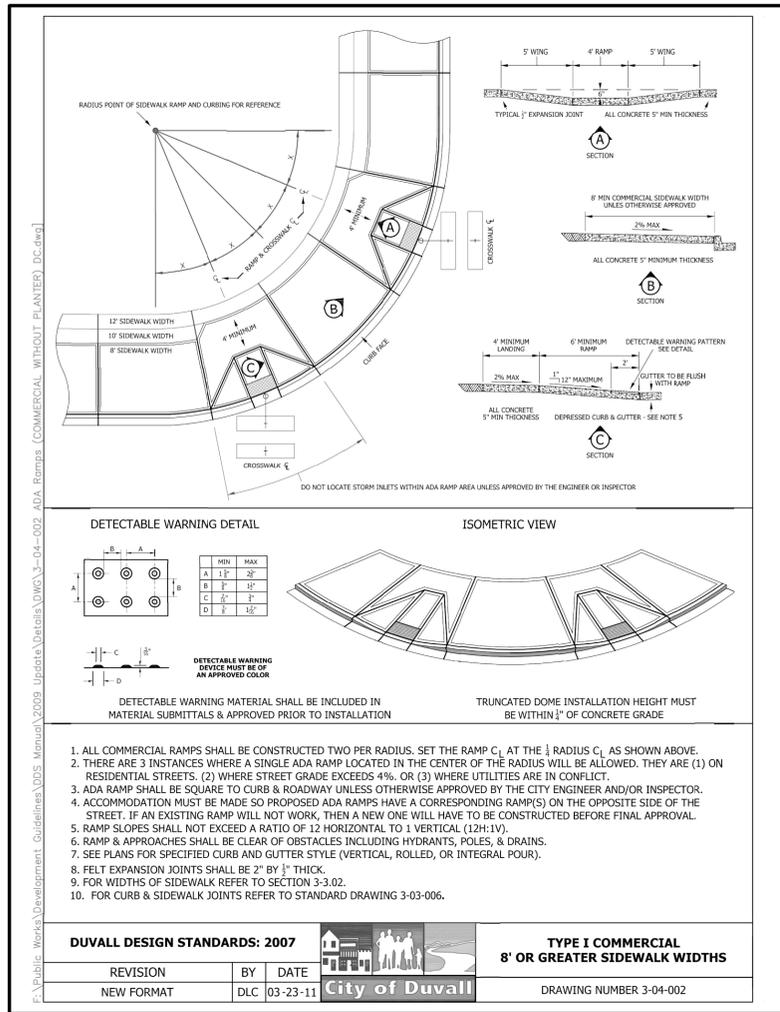
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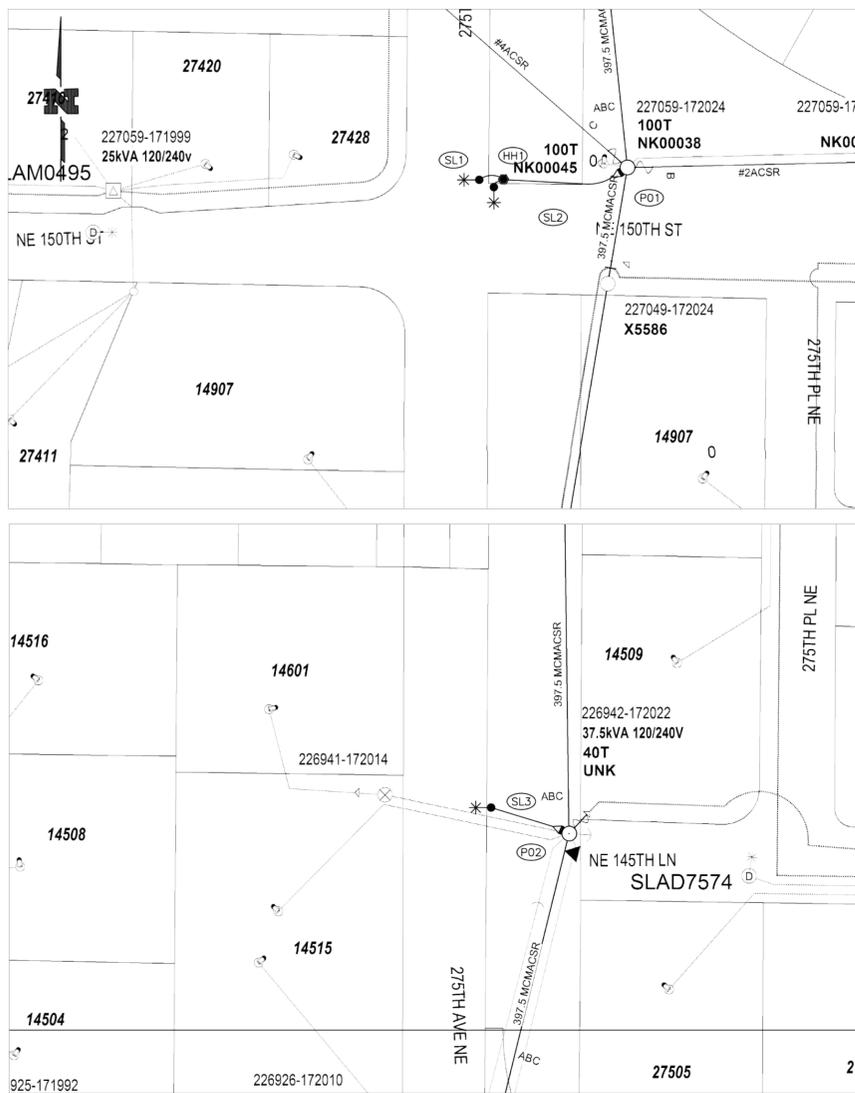
SITE DETAILS
275th Avenue Complete Streets
Sidewalk Design
 275th Avenue NE
 Duval, WA 98019
 Owner: City of Duval, WA



JOB NUMBER:
19-089
 SHEET #:
L2.1
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SITE PLAN
SCALE: 1"=50'

STREET LIGHT TABLE

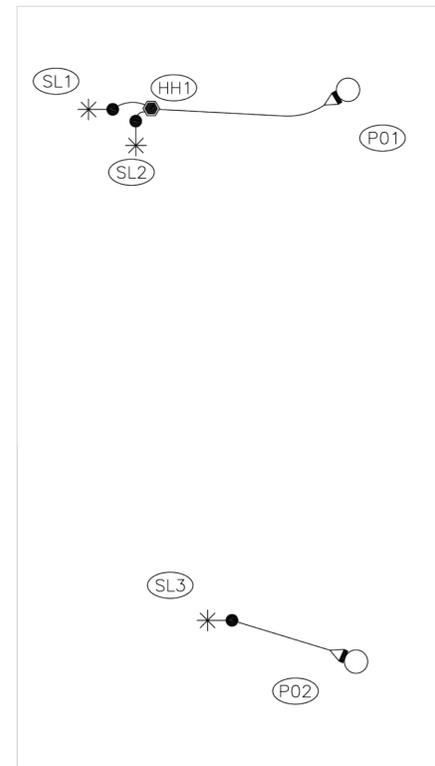
SITE #	GRID #	POLE			LUMINAIRE		TUBE		POLE BASE TYPE (Direct Buried or Basemount)	WO # (INTOLIGHT)	BILLING SCH.	TOTAL CONN LOAD	
		INTOLIGHT TAG #	TYPE	MTG HT.	ARM	WATTS	STYLE	TUBE LENGTH					TUBE DIAMETER
SL1			GREEN FIBER GLASS	25'	6' (GRN)	39W	CHFL 3K T2 LED	5'	18"	DIRECT BURIED	105091053	51	120/240
SL2			GREEN FIBER GLASS	25'	6' (GRN)	39W	CHFL 3K T2 LED	5'	18"	DIRECT BURIED	105091053	51	120/240
SL3			GREEN FIBER GLASS	25'	6' (GRN)	39W	CHFL 3K T2 LED	5'	18"	DIRECT BURIED	105091053	51	120/240

STREET LIGHT CIRCUITRY TABLE

SITE #	FROM	CABLE INFO		AS-BUILT		REMARKS
		TYPE	LF	TYPE	LENGTH	
HH1	P01	#6 TPX	95			
SL1	HH1	#6 TPX	15			
SL2	HH1	#6 TPX	15			
SL3	P02	#6 TPX	75			
TOTAL FT =			200	TOTAL FT =		

STREET LIGHT HANDHOLE TABLE

SITE	PEDESTAL OR HANDHOLE	NUMBER OF POSITIONS REQUIRED	REMARKS
HH1	HANDHOLE	3	



UG CIRCUITRY
SCALE: N.T.S.

SCOPE OF PROJECT:

DEVELOPER TO:
 -TRENCH AND INSTALL ALL 2" SCH40 CONDUIT
 -INSTALL 5'X18" PLASTIC CORRUGATED STREET LIGHT TUBE

POTELCO TO:
 -INSTALL RISER AT P01 & P02
 -INSTALL AND ENERGIZE ALL #6 TPX & HANDHOLE

AT SITES SL1, SL2, & SL3:
 -INSTALL 25'MH GREEN FIBER GLASS POLE
 -INSTALL NEW 39W CHFL 3000K TYPE 2 LED LUMINAIRES W/ 6' GREEN ARM ON NEW POLE
 *ORIENT LIGHTS AS SHOWN

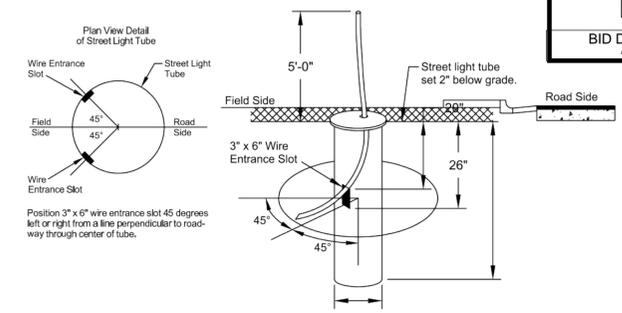
**FLAGGING MAY BE REQUIRED

STREET LIGHT NOTES

- POTELCO:**
- ALL STREET LIGHTING POLES ARE TO BE INSTALLED PER STANDARD 6375.4800 (page #2) IN THE "LINE WORK PRACTICES MANUAL".
 - ALL POLES (WOOD, CONCRETE OR FIBERGLASS) ARE TO BE SET PLUMB AND EMBEDDED TO THE GROUND LINE MARKED ON THE POLE.
 - BACKFILL AROUND POLE WITH 5/8" MINUS GRAVEL AND COMPACT IN 6" LIFTS. (PEA GRAVEL AND NATIVE SOILS ARE NOT ACCEPTABLE.) APPROXIMATELY 1 CU. YD. OF 5/8" MINUS CRUSHED ROCK WILL BE REQUIRED.
 - IN ALL SHOEBOX AND COBRAHEAD INSTALLATIONS, THE LUMINAIRE MUST BE LEVELED.

DEVELOPER/CUSTOMER:

- THE DEVELOPER IS REQUIRED TO SUPPLY AND INSTALL PLASTIC (NON PAPER) STREET LIGHT TUBES (MINIMUM 18" DIAMETER) TO AID IN THE INSTALLATION OF THE STREET LIGHTING POLES.
- DEVELOPER MUST SUPPLY DURABLE LID/COVER AT EACH STREET LIGHT TUBE.



STREET LIGHT TUBE DETAIL
SCALE: NONE

FOREMAN (CHECK BOX WHEN COMPLETED)

PSE Equipment LOCKED/SECURED & Work Area left in CLEAN/SAFE Condition

Grid, Cable, and Switch numbers INSTALLED & VERIFIED

Field Changes RECORDED on As-built

Material VERIFIED and CHANGES noted on Paperwork

Total PRIMARY Cable noted on As-built

Company ID#s RECORDED in correct location on As-built

Indicate correct FUSE SIZE on As-built & VERIFY proper PHASE

Correct GA Checklist(s) reviewed.

Deviations noted on the As-built and their reason.

I certify that the work performed meets PSE's standards and procedures and that all quality requirements are met.

Foreman's Signature _____ Date _____

PROJECT PHASE	NOTIF#	ORDER#
PWR Superior		
New Install	508918916	105094053
St. Light		
Removal		
Temporary		
Job Order		
GAS Distribution		
HP Main		
HP Svc/MS		
CABLE TV		
PHONE		

Project Manager Contact Information:
 Lane Mahler
 425-429-1356 Cell Phone

Vicinity Map TG Pg. ### Grid ##

105094053

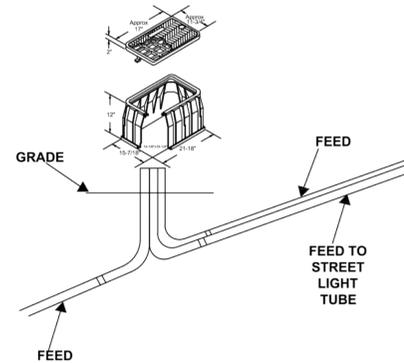
JOB SITE

Owner / Developer Contact Info
 City of Duvall
 15535 Main St NE
 Duvall, WA 98019
 ATTN: Alana McCoy 425-939-8045 cell

For contacts below dial 1-888-CALL PSE (225-5773)

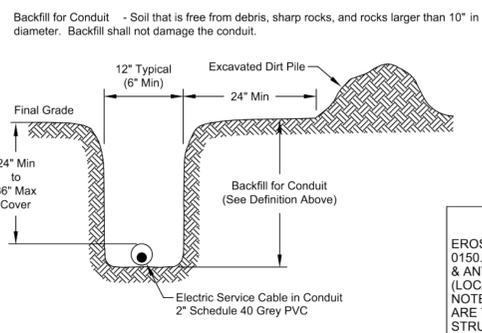
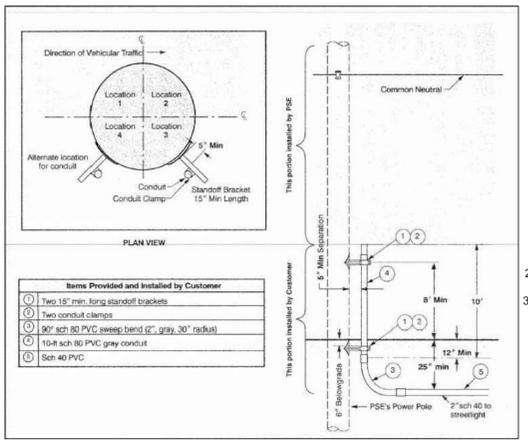
CALL (800) 424-5555
 2 BUSINESS DAYS BEFORE YOU DIG

THIS SKETCH NOT TO BE RELIED UPON FOR EXACT LOCATION OF EXISTING FACILITIES



EROSION & SEDIMENT CONTROL REQUIREMENTS

EROSION & SEDIMENT CONTROL SHALL BE PER PSE STANDARD PRACTICE 0150.3200 TECHNIQUES FOR TEMPORARY EROSION & SEDIMENT CONTROL & ANY ADDITIONAL LOCAL JURISDICTION REQUIREMENTS (LOCAL JURISDICTIONS MAY HAVE ADDITIONAL REQUIREMENTS INCLUDING NOTES DETAILING WHERE EROSION OR SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED, CROSS SECTION DETAILS OF THE TYPICAL EROSION STRUCTURES, & SPECIAL REQUIREMENTS FOR WORK IN SENSITIVE AREAS.)





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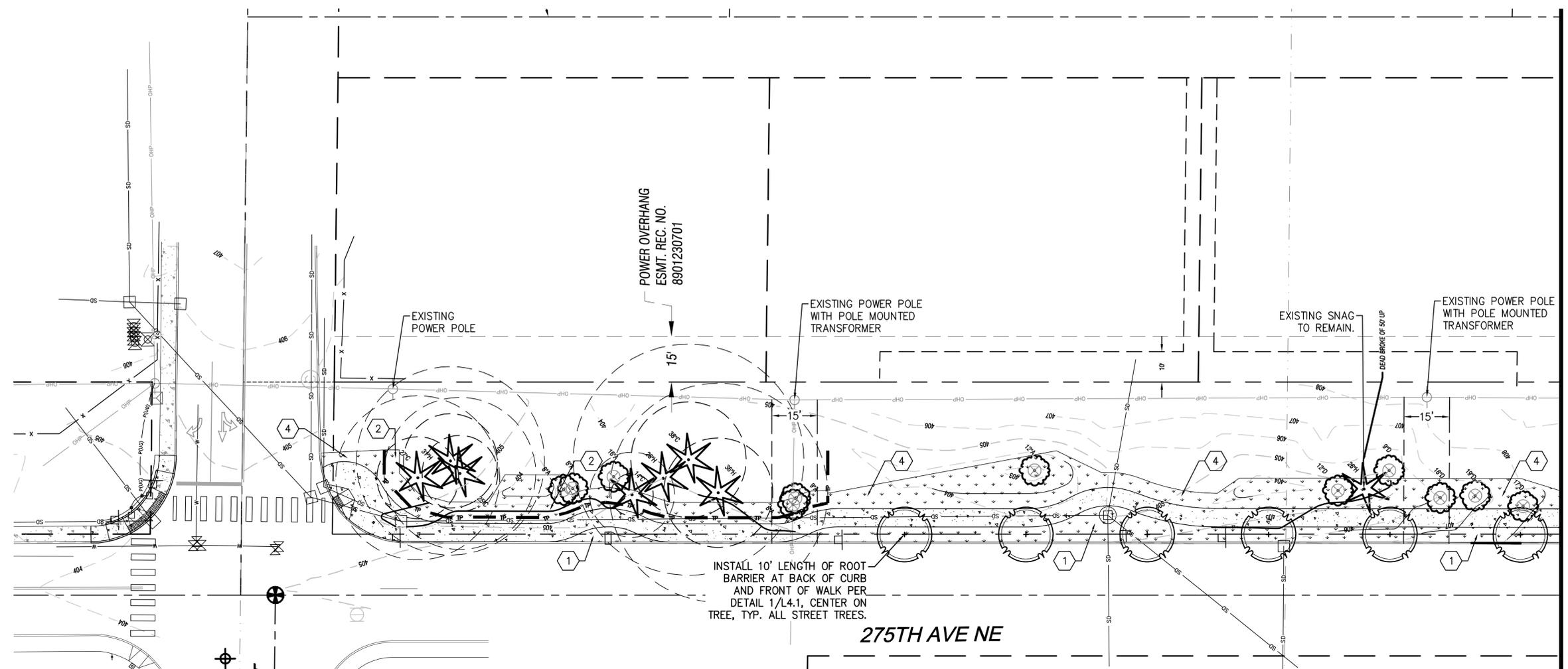
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DANIEL ROBBERN

DRAWN BY:
DANIEL ROBBERN

ISSUE DATE:
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INSTALL 10' LENGTH OF ROOT BARRIER AT BACK OF CURB AND FRONT OF WALK PER DETAIL 1/L4.1, CENTER ON TREE, TYP. ALL STREET TREES.

275TH AVE NE

NE 150TH ST

MATCHLINE - SEE SHEET L3.2

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	9	ACER CIRCINATUM / VINE MAPLE	B & B	6' MIN PLANTED HEIGHT
	24	ACER GRISEUM 'JFS KWBAGRI' / FIREBURST PAPERBARK MAPLE	B & B	2" CAL, 8' MIN BRANCH HEIGHT
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	12	CORNUS SERICEA 'BAILEY' / RED TWIG DOGWOOD	2 GAL	72" o.c.
	29	CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	1 GAL	24" o.c.
	17	PHILADELPHUS X VIRGINALIS / MOCK ORANGE	2 GAL	60" o.c.
	18	PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	2 GAL	48" o.c.
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT	SEED
	16,196 SF	TURF SEED / DROUGHT TOLERANT FESCUE-RYE BLEND	SEED	

SOIL PREPARATION NOTES:

1. PLANTER STRIP: LOOSEN EXISTING TOPSOIL BY ROTOTILLING OR RIPPING TO A DEPTH OF 6" AND PREPARE FOR SEEDING PER SECTION 329300-3.3.
2. TREE PROTECTION AREAS: FINE GRADE AND PREPARE AREAS CLEARED OF VEGETATION FOR SEEDING PER SECTION 329300-3.3.
3. SHRUB PLANTING AREAS: AMEND SOIL IN CLEARED AREAS TO RECEIVE SHRUBS WITH 3" OF COMPOST PER SWMMWW BMP T5.13 AND PREPARE FOR PLANTING PER 329300.
4. SEEDED AREAS: FINE GRADE AND PREPARE AREAS CLEARED OF VEGETATION FOR SEEDING PER SECTION 329300-3.3. ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED PER SWMMWW BMP T5.13.
5. ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY OF ANY KIND, INCLUDING STORAGE OF MATERIALS, SHALL RECEIVE FULL SUBGRADE PREPARATION INCLUDING COMPOST AND HYDROSEEDING PER SWMMWW BMP T5.13.



LANDSCAPE PLAN
275th Avenue Complete Streets
Sidewalk Design
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L3.1

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PROJECT MANAGER:
CHRIS PETERSEN

LANDSCAPE ARCHITECT:
DANIEL ROBBERN

DRAWN BY:
DANIEL ROBBERN

ISSUE DATE:
4/8/2020

NO	DATE	BY	REVISIONS

LANDSCAPE PLAN
275th Avenue Complete Streets
Sidewalk Design
 275th Avenue NE
 Duvall, WA 98019
 Owner: City of Duvall, WA



JOB NUMBER:

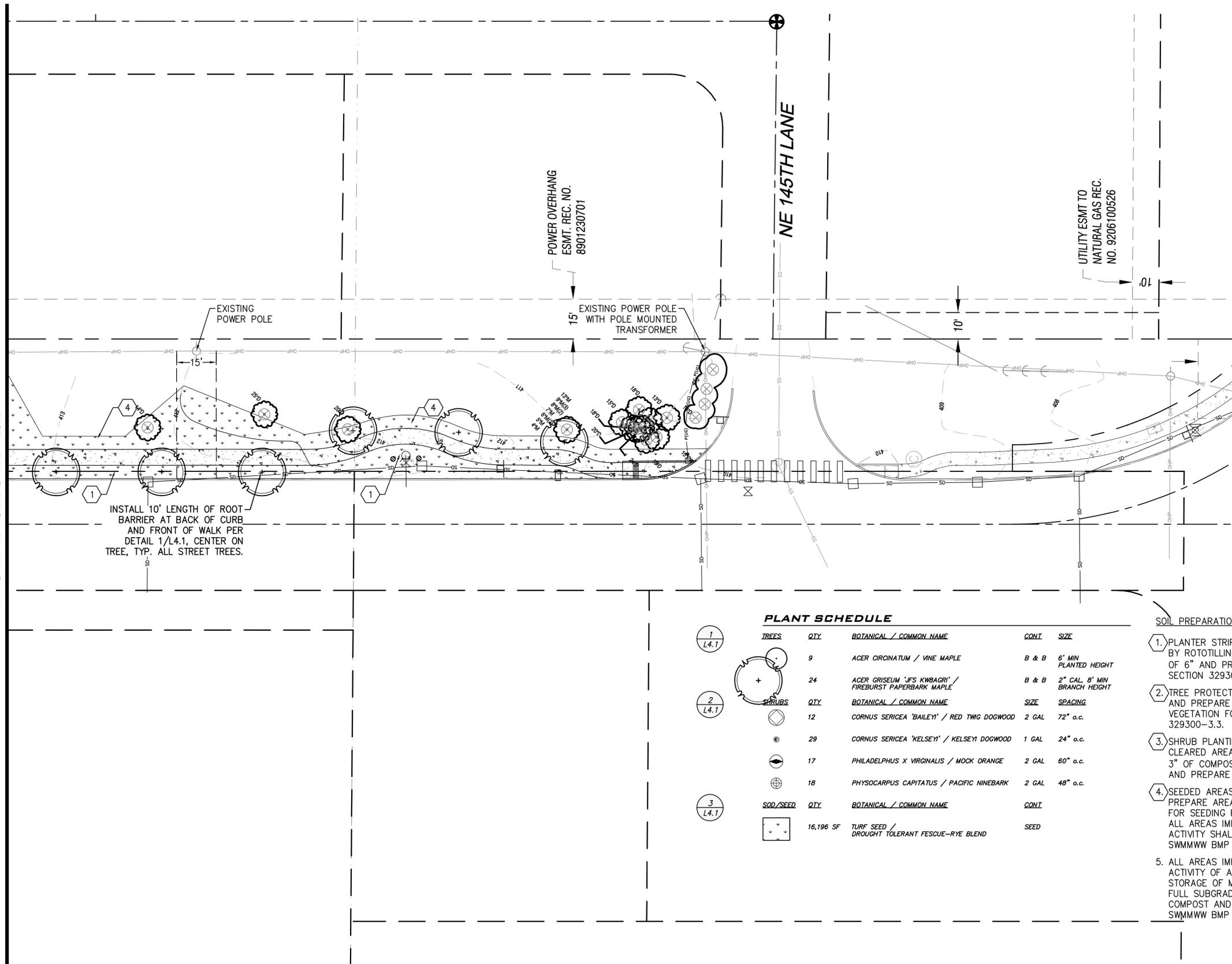
19-089

SHEET #:

L3.3

BID DOCUMENTS
APRIL 8, 2020

MATCHLINE - SEE SHEET L3.2



PLANT SCHEDULE

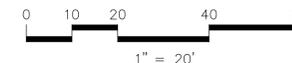
TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
1 L4.1	9	ACER CIRCINATUM / VINE MAPLE	B & B	6' MIN PLANTED HEIGHT
2 L4.1	24	ACER GRISEUM 'IFS KWBAGRI' / FIREBURST PAPERBARK MAPLE	B & B	2" CAL, 8' MIN BRANCH HEIGHT
3 L4.1	12	CORNUS SERICEA 'BAILEY' / RED TWIG DOGWOOD	2 GAL	72" o.c.
	29	CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	1 GAL	24" o.c.
	17	PHILADELPHUS X VIRGINALIS / MOCK ORANGE	2 GAL	60" o.c.
	18	PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	2 GAL	48" o.c.
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	16,196 SF	TURF SEED / DROUGHT TOLERANT FESCUE-RYE BLEND	SEED	

SOIL PREPARATION NOTES:

1. PLANTER STRIP: LOOSEN EXISTING TOPSOIL BY ROTOTILLING OR RIPPING TO A DEPTH OF 6" AND PREPARE FOR SEEDING PER SECTION 329300-3.3.
2. TREE PROTECTION AREAS: FINE GRADE AND PREPARE AREAS CLEARED OF VEGETATION FOR SEEDING PER SECTION 329300-3.3.
3. SHRUB PLANTING AREAS: AMEND SOIL IN CLEARED AREAS TO RECEIVE SHRUBS WITH 3" OF COMPOST PER SWMMWW BMP T5.13 AND PREPARE FOR PLANTING PER SECTION 329300-3.3.
4. SEEDED AREAS: FINE GRADE AND PREPARE AREAS CLEARED OF VEGETATION FOR SEEDING PER SECTION 329300-3.3. ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED PER SWMMWW BMP T5.13.
5. ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY OF ANY KIND, INCLUDING STORAGE OF MATERIALS, SHALL RECEIVE FULL SUBGRADE PREPARATION INCLUDING COMPOST AND HYDROSEEDING PER SWMMWW BMP T5.13.



NORTH





BLUELINE

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SCALE:
AS NOTED

PROJECT MANAGER:
CHRIS PETERSEN

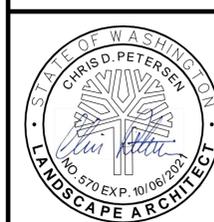
LANDSCAPE ARCHITECT:
DANIEL ROBBERN

DRAWN BY:
DANIEL ROBBERN

ISSUE DATE:
4/8/2020

NO	DATE	BY	REVISIONS

LANDSCAPE DETAILS AND NOTES
275th Avenue Complete Streets
Sidewalk Design
 275th Avenue NE
 Duvall, WA 98019
 Owner: City of Duvall, WA



JOB NUMBER:
19-089
 SHEET #:
L4.1
 BID DOCUMENTS
 APRIL 8, 2020

GENERAL PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL SITE UTILITIES PRIOR TO LANDSCAPE IMPLEMENTATION. PLANT LOCATIONS MAY BE ADJUSTED TO AVOID CONFLICT.
- LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE IMPROVEMENTS, PAVING, WALLS, AND UNDERGROUND UTILITIES. DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST.
- PLANT COUNT IS FOR THE CONTRACTOR'S CONVENIENCE; IF THERE IS A DISCREPANCY, THE PLAN SHALL GOVERN. ACTUAL PLANT QUANTITIES TO BE DETERMINED BY REQUIRED PLANT SPACING.
- SUBSTITUTION OF PLANT VARIETIES DUE TO LACK OF AVAILABILITY SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
- FINISH GRADE OF MULCHED LANDSCAPE AREAS SHALL BE GRADED TO 1/2" MAX. BELOW CONCRETE OR OTHER PAVED SURFACES.
- ALL LANDSCAPE AREAS ARE TO BE MAINTAINED BY A LICENSED PROFESSIONAL LANDSCAPE MAINTENANCE COMPANY.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR MINIMUM FROM SUBSTANTIAL COMPLETION TO INCLUDE ONE FULL GROWING SEASON (THROUGH SEPT. 30).
- ALL AREAS LEFT UNPLANTED SHALL BE DRESSED WITH 3" DEPTH BARK MULCH.
- ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY OF ANY KIND, INCLUDING STORAGE OF MATERIALS, SHALL RECEIVE FULL SUBGRADE PREPARATION INCLUDING COMPOST AND HYDROSEEDING PER SWMMWW BMP T5.13.

ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

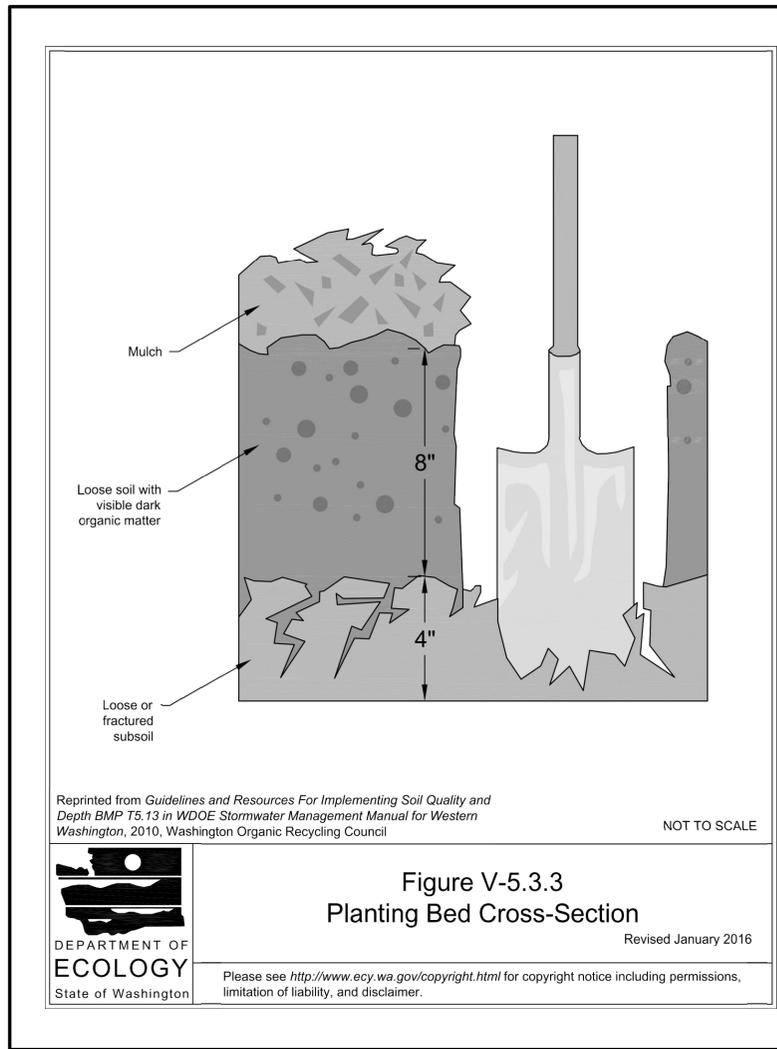
SOIL QUALITY:
 A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BED, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 AND 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. USE COMPOST AND OTHER MATERIALS THAT MEET THE COMPOST GUIDELINES.

SOIL DEPTH:
 THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4-INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS WHERE FEASIBLE. PLANTING BEDS SHOULD HAVE 2-INCHES OF ORGANIC MATERIAL AS WELL.

COMPOST GUIDELINES:
 MUST MEET THE DEFINITION OF "COMPOSTED MATERIAL" IN WAC 173-350-100 AND COMPLIES WITH TESTING PARAMETERS AND OTHER STANDARDS IN WAC 173-350-220. MUST BE PRODUCED AT A PERMITTED COMPOSTING FACILITY. ORGANIC MATTER CONTENT SHALL BE 40% TO 65%. CARBON TO NITROGEN RATION MUST BE LESS THAN 25:1. THE C:N RATION MAY BE UP TO 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PUGET SOUND LOWLAND NATIVE SPECIES AND UP TO 40:1 FOR COARSE COMPOST TO BE USED AS A SURFACE MULCH (NOT IN A SOIL MIX).

- IMPLEMENTATION OPTIONS:**
- LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
 - AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
 - STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
 - IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.



Reprinted from *Guidelines and Resources For Implementing Soil Quality and Depth BMP T5.13* in *WDOE Stormwater Management Manual for Western Washington*, 2010, Washington Organic Recycling Council

NOT TO SCALE

Figure V-5.3.3
Planting Bed Cross-Section

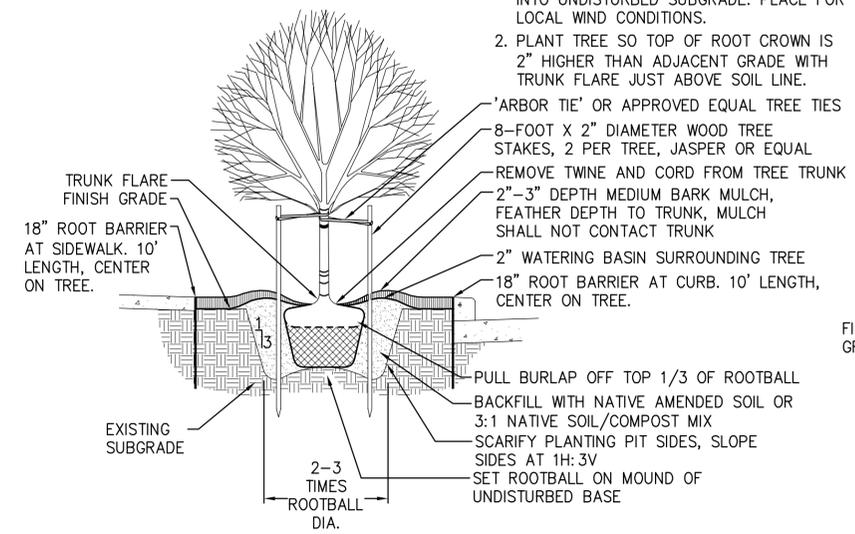
Revised January 2016



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NOTES:

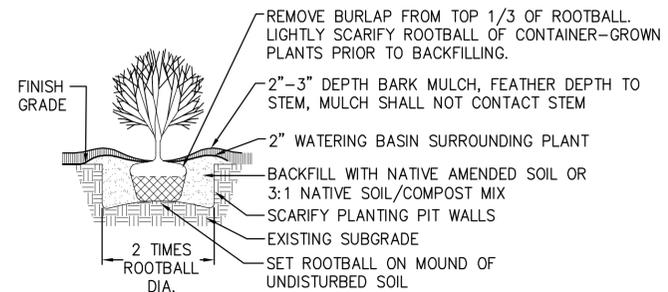
- TREE STAKES TO BE VERTICAL, PARALLEL, EVEN-TOPPED, UNSCARRED AND DRIVEN INTO UNDISTURBED SUBGRADE. PLACE FOR LOCAL WIND CONDITIONS.
- PLANT TREE SO TOP OF ROOT CROWN IS 2" HIGHER THAN ADJACENT GRADE WITH TRUNK FLARE JUST ABOVE SOIL LINE.
- 'ARBOR TIE' OR APPROVED EQUAL TREE TIES
- 8-FOOT X 2" DIAMETER WOOD TREE STAKES, 2 PER TREE, JASPER OR EQUAL
- REMOVE TWINE AND CORD FROM TREE TRUNK
- 2"-3" DEPTH MEDIUM BARK MULCH, FEATHER DEPTH TO TRUNK, MULCH SHALL NOT CONTACT TRUNK
- 2" WATERING BASIN SURROUNDING TREE
- 18" ROOT BARRIER AT CURB. 10' LENGTH, CENTER ON TREE.



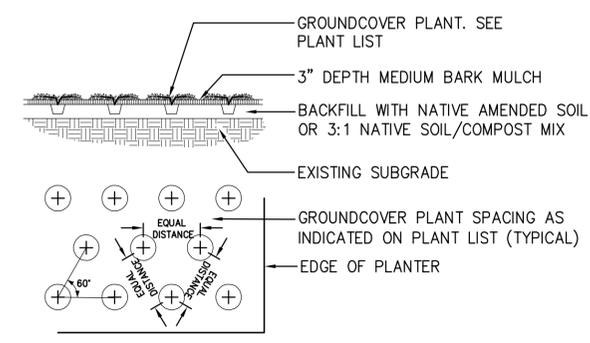
1 DECIDUOUS STREET TREE PLANTING
SCALE: 1/2" = 1'-0"

NOTE:

PLANT TREE SO TOP OF ROOT CROWN IS 1" HIGHER THAN ADJACENT GRADE.



2 SHRUB TREE PLANTING
SCALE: 1/2" = 1'-0"



3 GROUNDCOVER PLANTING
SCALE: 1/2" = 1'-0"

2/24/24
 Apr 08, 2020 - 10:10pm - User: drabben
 L: \\Projects\LA19-089-275th Ave NE Complete Streets - Duvall, WA\04 - Construction Documents\19089 - L4.0 Landscape Details-Notes-Legend.dwg