

# 275TH AVENUE NE COMPLETE STREETS

## DUVALL, WASHINGTON



**BLUELINE**

15200 52ND AVE. SO., SUITE 210  
SEATTLE, WA 98188  
P: 206.204.0507  
WWW.THEBLUELINEGROUP.COM

SCALE:

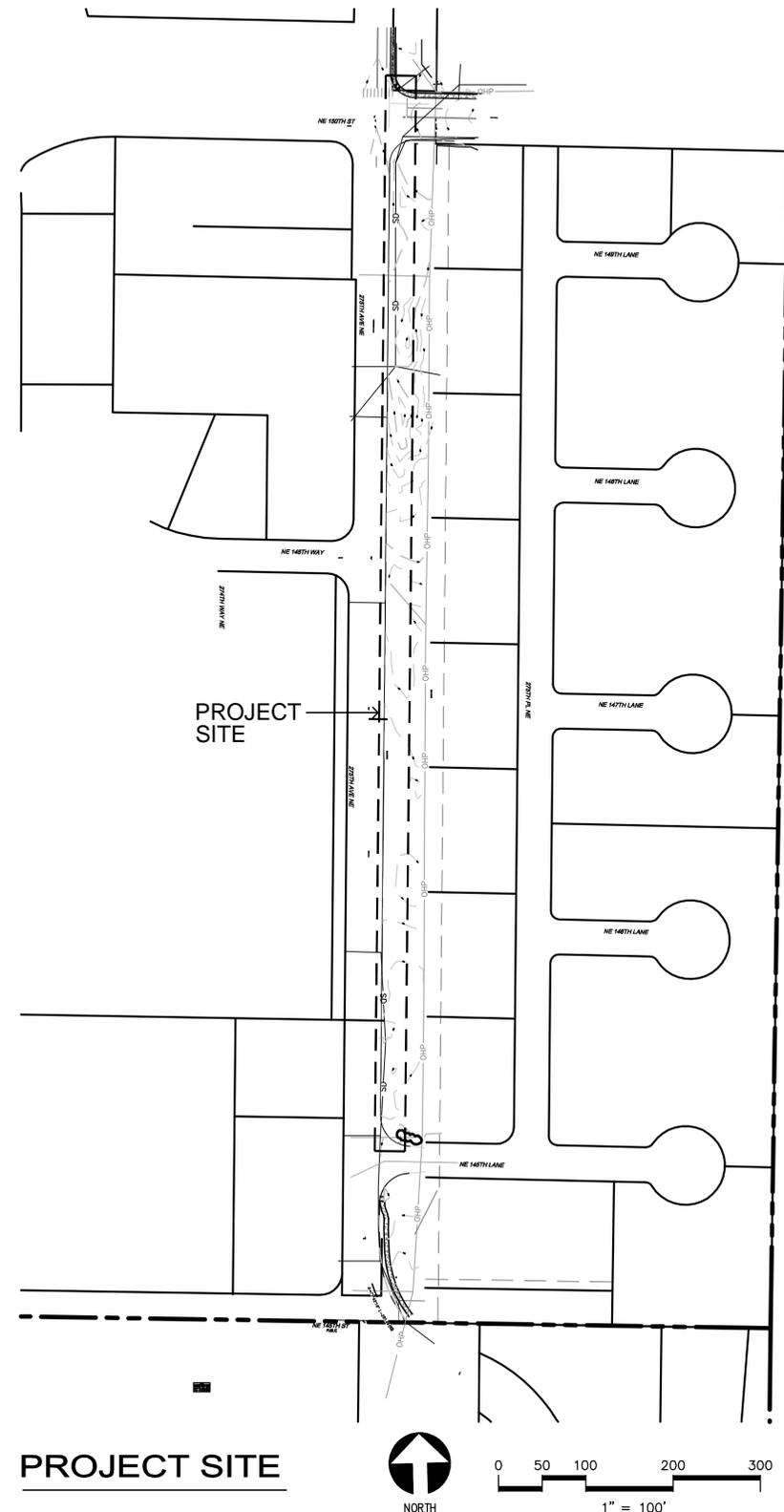
AS NOTED

PROJECT MANAGER:  
**CHRIS PETERSEN**

LANDSCAPE ARCHITECT:  
**DANIEL ROBBERN**

DRAWN BY:  
**DANIEL ROBBERN**

ISSUE DATE:  
**4/24/2020**



### PROJECT TEAM

**CLIENT:** CITY OF DUVALL  
14525 MAIN STREET NE  
DUVALL, WA 98119  
TEL: (425) 939-8045  
CONTACT: ALANA McCOY

**LANDSCAPE ARCHITECT:** BLUELINE  
15200 52ND AVENUE S, SUITE 210  
SEATTLE, WA 98188  
TEL: (206) 204-0507  
CONTACT: CHRIS PETERSEN

**SURVEYOR:** MEAD GILMAN LAND SURVEYORS  
P.O. BOX 289  
WOODINVILLE, WA 98072  
TEL: (425) 823-5700  
WWW.MEADGILMAN.COM  
CONTACT: CHRISTOPHER BARNES

**ARBORIST:** TREE RESOURCE  
TEL: (253) 350-4722  
WWW.TREERESOURCE.COM  
CONTACT: ZEB HANEY

### VICINITY MAP



### DRAWING INDEX

SHT #	SHEET TITLE
G0.0	COVER SHEET
G0.1	SITE SURVEY
G0.2	SITE SURVEY
L0.1	TESC AND DEMOLITION PLAN
L0.2	TESC AND DEMOLITION PLAN
L0.3	TESC AND DEMOLITION PLAN
L1.1	SITE LAYOUT PLAN
L1.2	SITE LAYOUT PLAN
L1.3	SITE LAYOUT PLAN
L1.4	SITE GRADING PLAN
L1.5	SITE GRADING PLAN
L1.6	SITE GRADING PLAN
L2.1	SITE DETAILS
L2.2	SITE DETAILS
L2.3	SITE DETAILS
L2.4	SITE DETAILS
L2.5	PSE DETAILS
L3.1	LANDSCAPE PLAN
L3.2	LANDSCAPE PLAN
L3.3	LANDSCAPE PLAN
L4.1	LANDSCAPE DETAILS AND NOTES

### GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE FURNISHED AND SUPPLIED IN ACCORDANCE WITH THE 2020 WASHINGTON STATE DEPARTMENT OF STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AND THE PROJECT SPECIFICATIONS
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT AND COORDINATE WITH ALL UTILITY COMPANIES IN ORDER TO ASSURE THAT ALL LINES, PIPES, POLES, AND OTHER APPURTENANCES ARE PROPERLY LOCATED, SECURED, RELOCATED, AND/OR PROTECTED. BURIED UTILITIES (WHERE SHOWN) ARE SHOWN IN THEIR APPROXIMATED LOCATIONS. THE CONTRACTOR SHALL HAVE UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. NOTIFY UNDERGROUND UTILITY LOCATE CENTER @ 811.
- THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND CONTRACT SPECIFICATIONS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN THE EVENT OR DISCOVERY OF UNSUITABLE SOILS OR DISCREPANCIES ON THE PLANS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF DUVALL PRIOR TO STARTING WORK.

REVISIONS

NO DATE BY

**COVER SHEET**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
**275th Avenue NE**  
**Duvall, WA 98019**  
Owner: City of Duvall, WA



JOB NUMBER:

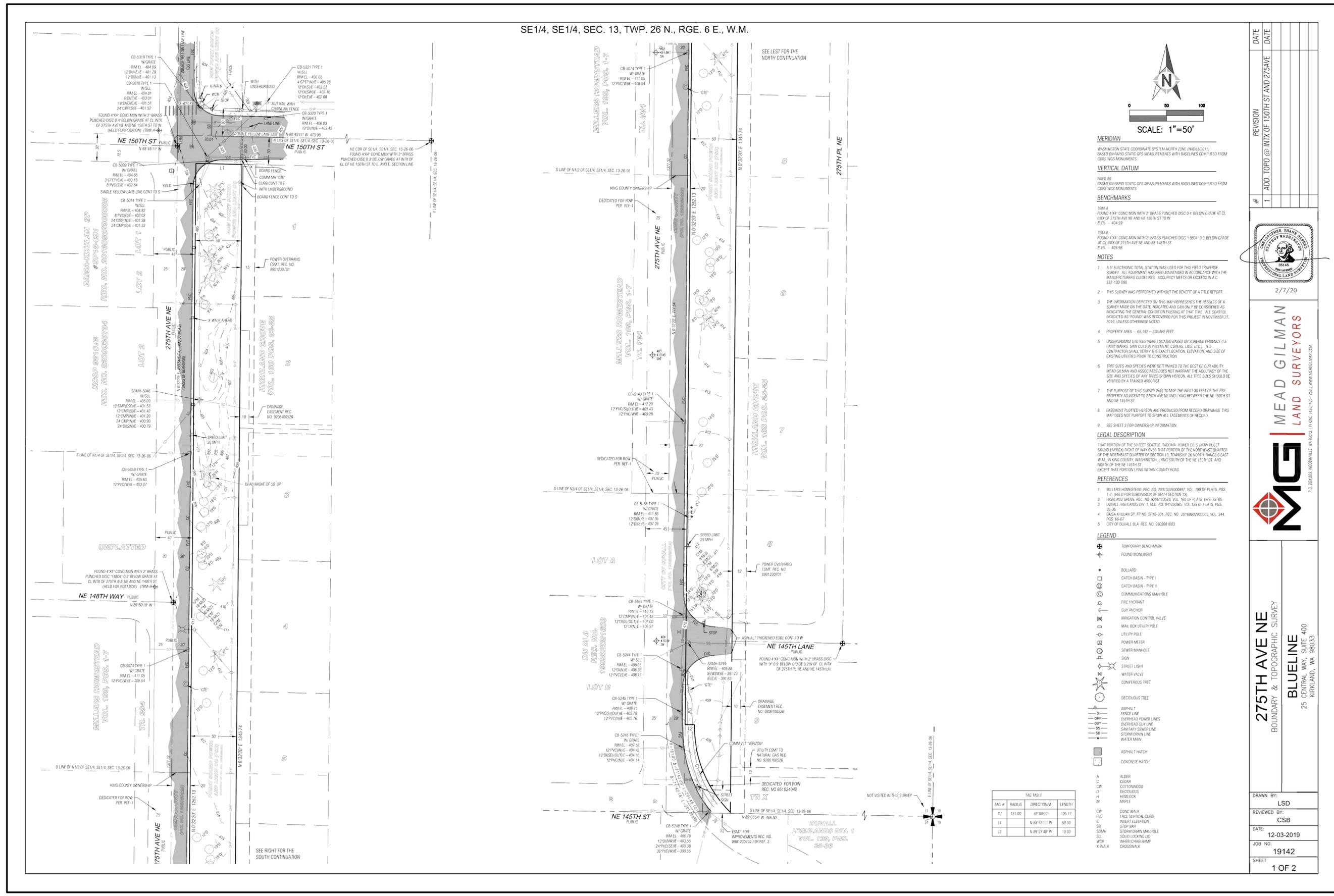
**19-089**

SHEET #:

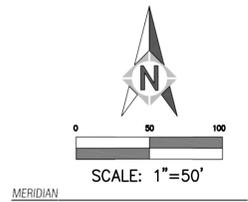
**G0.0**

BID DOCUMENTS

APRIL 8, 2020



SE1/4, SE1/4, SEC. 13, TWP. 26 N., RGE. 6 E., W.M.



SCALE: 1"=50'

MERIDIAN  
 BASED ON RAPID STATIC GPS MEASUREMENTS WITH BASELINES COMPUTED FROM CORS WGS MONUMENTS.

VERTICAL DATUM  
 NAVD 88  
 BASED ON RAPID STATIC GPS MEASUREMENTS WITH BASELINES COMPUTED FROM CORS WGS MONUMENTS.

BENCHMARKS  
 FORM A  
 FOUND 4"x4" CONIC MON WITH 2" BRASS PUNCHED DISC 0.4 REL. DW. GRADE AT CL. INTX. OF 275TH AVE NE AND NE 150TH ST TO W. ELEV. = 404.59

FORM B  
 FOUND 4"x4" CONIC MON WITH 2" BRASS PUNCHED DISC 1.8854" 0.3 BELOW GRADE AT CL. INTX. OF 275TH AVE NE AND NE 148TH ST. ELEV. = 409.98

NOTES  
 1. A 5" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. ALL EQUIPMENT HAS BEEN MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES. ACCURACY MEETS OR EXCEEDS WA C-332.130.090

2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.

3. THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME. ALL CONTIGUOUS INDICATED AS FOUND. NO RECORD WAS RECOVERED FOR THIS PROJECT IN NOVEMBER 27, 2019 UNLESS OTHERWISE NOTED.

4. PROPERTY AREA = 65,192 - SQUARE FEET.

5. UNDERGROUND UTILITIES WERE LOCATED BASED ON SURFACE EVIDENCE (I.E. PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION, AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

6. TREE SIZES AND SPECIES WERE DETERMINED TO THE BEST OF OUR ABILITY. MEAD GILMAN AND ASSOCIATES DOES NOT WARRANT THE ACCURACY OF THE SIZE AND SPECIES OF ANY TREES SHOWN HEREON. ALL TREE SIZES SHOULD BE VERIFIED BY A TRAINED ARBORIST.

7. THE PURPOSE OF THIS SURVEY WAS TO MAP THE WEST 30 FEET OF THE PSE PROPERTY ADJACENT TO 275TH AVE NE AND LYING BETWEEN THE NE 150TH ST AND NE 145TH ST.

8. EASEMENT PLOTTED HEREON ARE PRODUCED FROM RECORD DRAWINGS. THIS MAP DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.

9. SEE SHEET 2 FOR OWNERSHIP INFORMATION.

LEGAL DESCRIPTION  
 THAT PORTION OF THE 50 FEET SEATTLE, TACOMA POWER CO.'S (NOW PUEBLO SOUND ENERGY) RIGHT OF WAY OVER THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 26 NORTH, RANGE 6 EAST, W.M. IN KING COUNTY, WASHINGTON, LYING SOUTH OF THE NE 150TH ST. AND NORTH OF THE NE 145TH ST. EXCEPT THAT PORTION LYING WITHIN COUNTY ROAD.

REFERENCES  
 1. MILLERS HOMESTEAD, REC. NO. 2011023000007, VOL. 199 OF PLATS, PGS. 1-7. (FIELD FOR SUBDIVISION OF SE1/4 SECTION 13)

2. HIGHLAND GROVE, REC. NO. 9206100526, VOL. 160 OF PLATS, PGS. 83-85

3. DUWALL HIGHLANDS DIV. 1, REC. NO. 941200965, VOL. 129 OF PLATS, PGS. 35-36

4. BASA-KULIAN SP, P.P. NO. SP16-001, REC. NO. 2016062900005, VOL. 344, PGS. 66-67

5. CITY OF DUWALL B.L.A. REC. NO. 930281803

LEGEND  
 B FOUND BENCHMARK  
 F FOUND MONUMENT  
 S BOLLARD  
 C CATCH BASIN - TYPE I  
 D CATCH BASIN - TYPE II  
 M COMMUNICATIONS MANHOLE  
 H FIRE HYDRANT  
 A GUY ANCHOR  
 I IRRIGATION CONTROL VALVE  
 U UTILITY POLE  
 P MAIL BOX UTILITY POLE  
 L UTILITY POLE  
 M POWER METER  
 S SEWER MANHOLE  
 S SIGN  
 S STREET LIGHT  
 W WATER VALVE  
 T CONIFEROUS TREE  
 T DECIDUOUS TREE  
 A ASPHALT  
 C ASPHALT HATCH  
 F FENCE LINE  
 O OVERHEAD POWER LINES  
 P OVERHEAD GUY LINE  
 S SANITARY SEWER LINE  
 S STORM DRAIN LINE  
 W WATER MAIN  
 A ALDER  
 C CEDAR  
 W COTTONWOOD  
 D DECIDUOUS  
 H HEMLOCK  
 M MAPLE  
 FV CONIC WALK  
 E FACE VERTICAL CURB  
 S SURF BAR  
 S STORM DRAIN MANHOLE  
 S SOLID LINED LID  
 S SLOPE  
 W WHEEL CHAIR RAMP  
 X WALK CROSSWALK

TAG #	RADIUS	DIRECTION	LENGTH
L1	131.00	46°00'00"	105.17
L2		N 89°45'11" W	50.00
L3		N 89°27'40" W	10.00

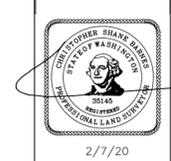
REVISION	DATE	DATE
1	ADD TOPO @ INTX OF 150TH ST AND 275AVE	

NO	DATE	BY	REVISIONS

DRAWN BY:	LSD
REVIEWED BY:	CSB
DATE:	12-03-2019
JOB NO.:	19142
SHEET:	1 OF 2





**BLUELINE**

15200 52ND AVE. SO., SUITE 210  
 SEATTLE, WA 98188  
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SCALE:  
**AS NOTED**

PROJECT MANAGER:  
**CHRIS PETERSEN**

LANDSCAPE ARCHITECT:  
**DANIEL ROBBEN**

DRAWN BY:  
**DANIEL ROBBEN**

ISSUE DATE:  
**4/24/2020**

**SITE SURVEY**

**275th Avenue Complete Streets**

**Sidewalk Design**

**275th Avenue NE**

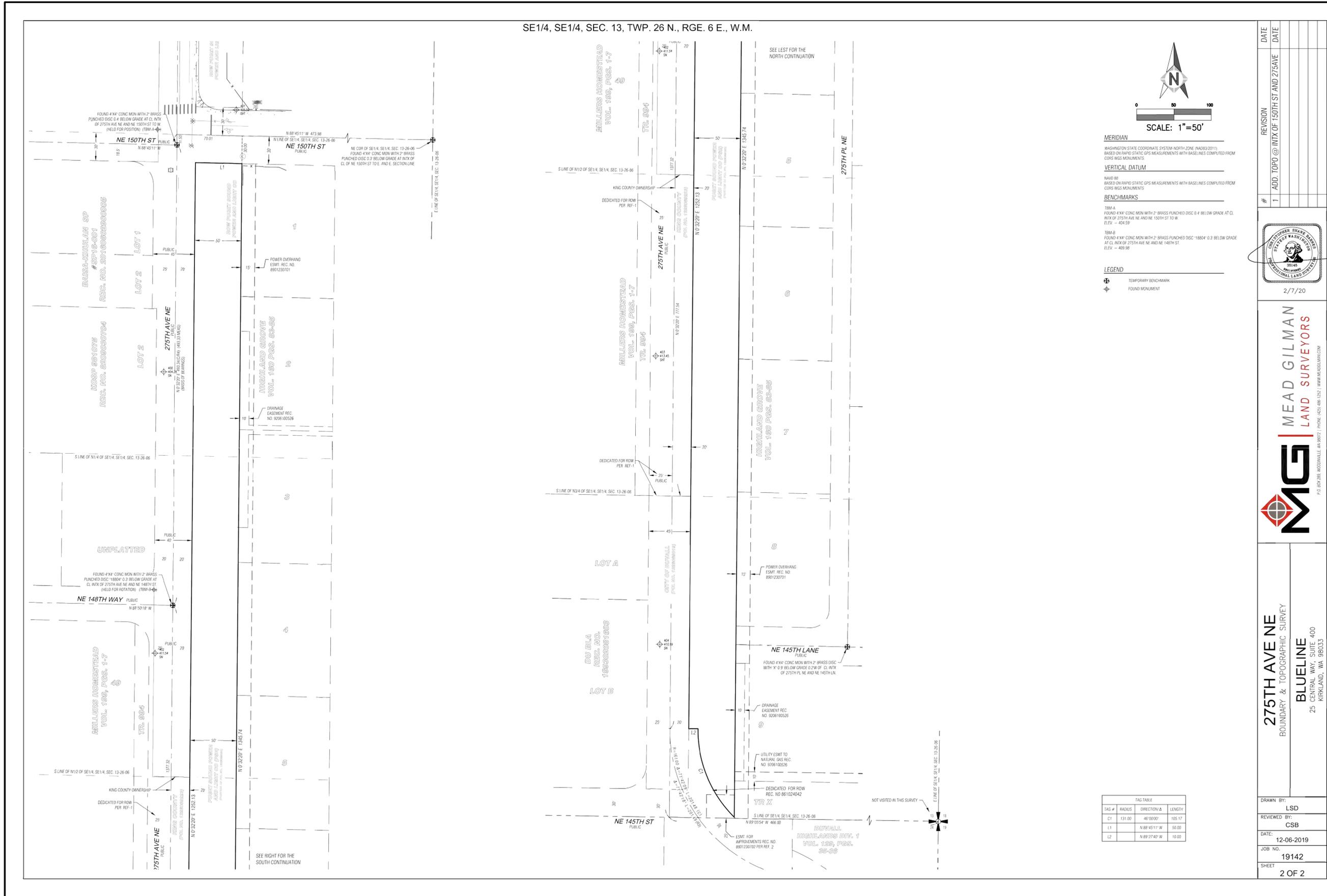
**Duval, WA 98019**

Owner: City of Duval, WA

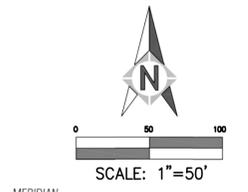
JOB NUMBER:  
**19-089**

SHEET #:  
**G0.1**

BID DOCUMENTS  
 APRIL 8, 2020



SE1/4, SE1/4, SEC. 13, TWP. 26 N., RGE. 6 E., W.M.



MERIDIAN  
 WASHINGTON STATE COORDINATE SYSTEM-NORTH ZONE (NAD83/2011)  
 BASED ON RAPID STATIC GPS MEASUREMENTS WITH BASELINES COMPUTED FROM  
 CORS WGS MONUMENTS.

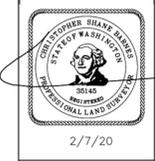
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 B.M. A  
 FOUND 4"x4" CONC MON WITH 2" BRASS PUNCHED DISC 0.4' BELOW GRADE AT CL  
 INTX OF 275TH AVE NE AND NE 150TH ST TO W.  
 ELEV. = 404.59

B.M. B  
 FOUND 4"x4" CONC MON WITH 2" BRASS PUNCHED DISC 1.885' 0.3' BELOW GRADE  
 AT CL INTX OF 275TH AVE NE AND NE 148TH ST.  
 ELEV. = 409.98

LEGEND  
 ⊕ TEMPORARY BENCHMARK  
 ⊕ FOUND MONUMENT

REVISION	DATE
1	ADD TOPO @ INTX OF 150TH ST AND 275AVE



**MGL** MEAD GILMAN  
 LAND SURVEYORS  
 P.O. BOX 281, WOODWILLE, WA 98077 | PHONE: (425) 481-1252 | WWW.MGLDLM.COM

**275TH AVE NE**  
 BOUNDARY & TOPOGRAPHIC SURVEY  
 BLUELINE  
 25 CENTRAL WAY, SUITE 400  
 KIRKLAND, WA 98033

DRAWN BY:	LSD
REVIEWED BY:	CSB
DATE:	12-06-2019
JOB NO.:	19142
SHEET:	2 OF 2

TAG #	RADIUS	DIRECTION-A	LENGTH
C1	131.00	46°00'00"	105.17
L1		N 88°45'11" W	50.00
L2		N 89°27'40" W	10.00

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**DANIEL ROBBERN**  
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NO	DATE	BY	REVISIONS

**SITE SURVEY**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
 275th Avenue NE  
 Duvall, WA 98019  
 Owner: City of Duvall, WA

JOB NUMBER:  
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REVISIONS

NO DATE BY

**TESC AND DEMOLITION PLAN**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
275th Avenue NE  
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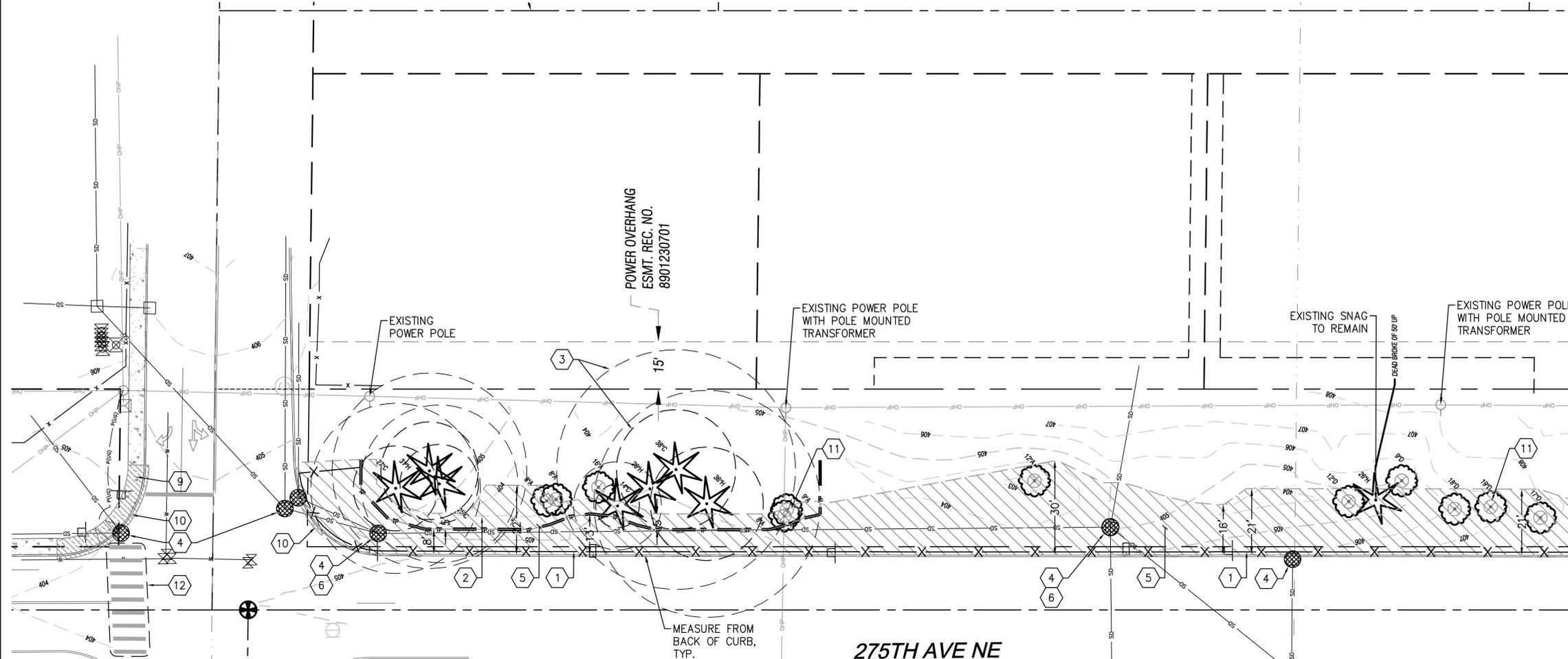
SHEET #:  
**L0.1**

BID DOCUMENTS  
APRIL 8, 2020

**KEY NOTES:**

1. HIGH VISIBILITY SILT/CONSTRUCTION FENCING PER I-30.17-00/L2.1, SIM. INSTALL AT BACK OF CURB AND LOCATIONS SHOWN.
2. TREE PROTECTION FENCING PER I-10.10-01/L2.2, SIM. INSTALL AT LOCATIONS AS SHOWN AND DIRECTED BY THE ARBORIST.
3. TREE CRITICAL ROOT ZONE AND INNER CRITICAL ROOT ZONE. ALL WORK PERFORMED WITHIN ROOT ZONES OF TREES TO BE RETAINED SHALL BE DONE WITH THE ARBORIST PRESENT, TYP.
4. INLET PROTECTION PER I-40.20-00/L2.1, TYP.
5. CLEARING AND GRADING LIMITS. REMOVE ALL WEEDS AND VEGETATION TO BARE SOIL PER NOTES 7-11
6. EXISTING CATCH BASIN TO REMAIN AND BE PROTECTED.
7. EXISTING FIRE HYDRANT AND BOLLARDS TO REMAIN AND BE PROTECTED.
8. EXISTING CURB RAMP TO REMAIN AND BE PROTECTED.
9. EXISTING SIDEWALK AND CURB RAMP TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
10. EXISTING CURB AND GUTTER TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
11. EXISTING TREE TO BE REMOVED BY OWNER, TYP.
12. REMOVE EXISTING CROSSWALK STRIPING

MATCHLINE - SEE SHEET L0.2



**NOTES:**

1. SEE SURVEY SHEETS G0.1 AND G0.2 FOR EXISTING CONDITIONS.
2. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGE SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
3. INSTALL SILT FENCE PER I-30.15-02/L2.2 AT ANY LOCATION IN WHICH EROSION BECOMES VISIBLE.
4. ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN A SAFE AND LEGAL MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISPOSAL COSTS.
5. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION AND NOT COVERED BY BUILDINGS OR PAVEMENT SHALL BE AMENDED WITH COMPOST AND HYDROSEEDED OR PLANTED TO MATCH EXISTING PER SWMMWW BMPT 5.13 AND AS NOTED ON DETAIL FIGURE V-5.3.3/L4.1
6. TREE PROTECTION REQUIRED FOR ALL TREES TO REMAIN ADJACENT TO AREAS OF SITE IMPROVEMENTS. SEE ARBORIST REPORT AND TREE RETENTION PLAN.
7. EXISTING PLANTINGS, UTILITIES AND IMPROVEMENTS TO REMAIN AND BE PROTECTED UNLESS NOTED TO BE REMOVED ON PLANS. THE CONTRACTOR SHALL REPAIR ANY DAMAGES CAUSED BY CONSTRUCTION ACTIVITIES.
8. ALL SEEDING AND PLANTING AREAS SHALL BE WEED FREE PRIOR TO APPLICATION OF SOIL AMENDMENT, TOPSOIL AND COMPOST.
9. CLEARING OF VEGETATION WITHIN TREE PROTECTION FENCING SHALL BE DONE BY HAND AS TO NOT DISTURB EXISTING TREE ROOTS.
10. ALL PLANTING AREAS SHALL BE TREATED WITH AN APPROVED NON-SELECTIVE, NON-RESIDUAL HERBICIDE A MINIMUM OF TWO WEEKS PRIOR TO PLANTING. PLANTING SHALL NOT OCCUR UNTIL ALL EXISTING UNDESIRABLE VEGETATION IS DEAD.
11. KNOTWEED AND BLACKBERRY SHALL BE TREATED WITH AN APPROVED NON-SELECTIVE, NON-RESIDUAL HERBICIDE A MINIMUM OF TWO TIMES PRIOR TO PLANTING. THE SECOND APPLICATION OF HERBICIDE SHALL BE MADE AFTER A MINIMUM OF SIX WEEKS OR WHEN THE REMAINING KNOTWEED AND BLACKBERRY HAVE GROWN TO A HEIGHT OF 6 TO 12 INCHES, WHICHEVER IS EARLIER.
12. ALL KING COUNTY CLASS A AND CLASS B NOXIOUS WEEDS SHALL BE ERADICATED.

**LEGEND**

- HIGH VISIBILITY CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- SILT FENCE
- INLET PROTECTION
- CLEARING AND GRADING LIMITS
- TREE TO BE REMOVED BY OWNER



0 10 20 40 60  
1" = 20'

22x34  
Apr 24, 2020 - 2:01pm - User: drobbern  
L: \Projects\19-089-275th Ave NE Complete Streets - Duvall, WA\04 - Construction Documents\19089 - L0X Site Demo Plans.dwg



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LANDSCAPE ARCHITECT:

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DRAWN BY:

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ISSUE DATE:

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NO	DATE	BY	REVISIONS

**TESC AND DEMOLITION PLAN**  
**275th Avenue Complete Streets**  
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 Owner: City of Duvall, WA



JOB NUMBER:

**19-089**

SHEET #:

**L0.2**

BID DOCUMENTS

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**KEY NOTES:**

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- EXISTING CURB AND GUTTER TO BE DEMOLISHED. REMOVE TO NEAREST JOINTS.
- EXISTING TREE TO BE REMOVED BY OWNER, TYP.
- REMOVE EXISTING CROSSWALK STRIPING.

MATCHLINE - SEE SHEET L0.3

**LEGEND**

- HIGH VISIBILITY CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- SILT FENCE
- INLET PROTECTION
- CLEARING AND GRADING LIMITS
- TREE TO BE REMOVED BY OWNER



**275TH PL NE**

**275TH AVE NE**

**NE 148TH WAY**

MATCHLINE - SEE SHEET L0.1

**NOTES:**

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- ALL KING COUNTY CLASS A AND CLASS B NOXIOUS WEEDS SHALL BE ERADICATED.

EXISTING POWER POLE WITH POLE MOUNTED TRANSFORMER

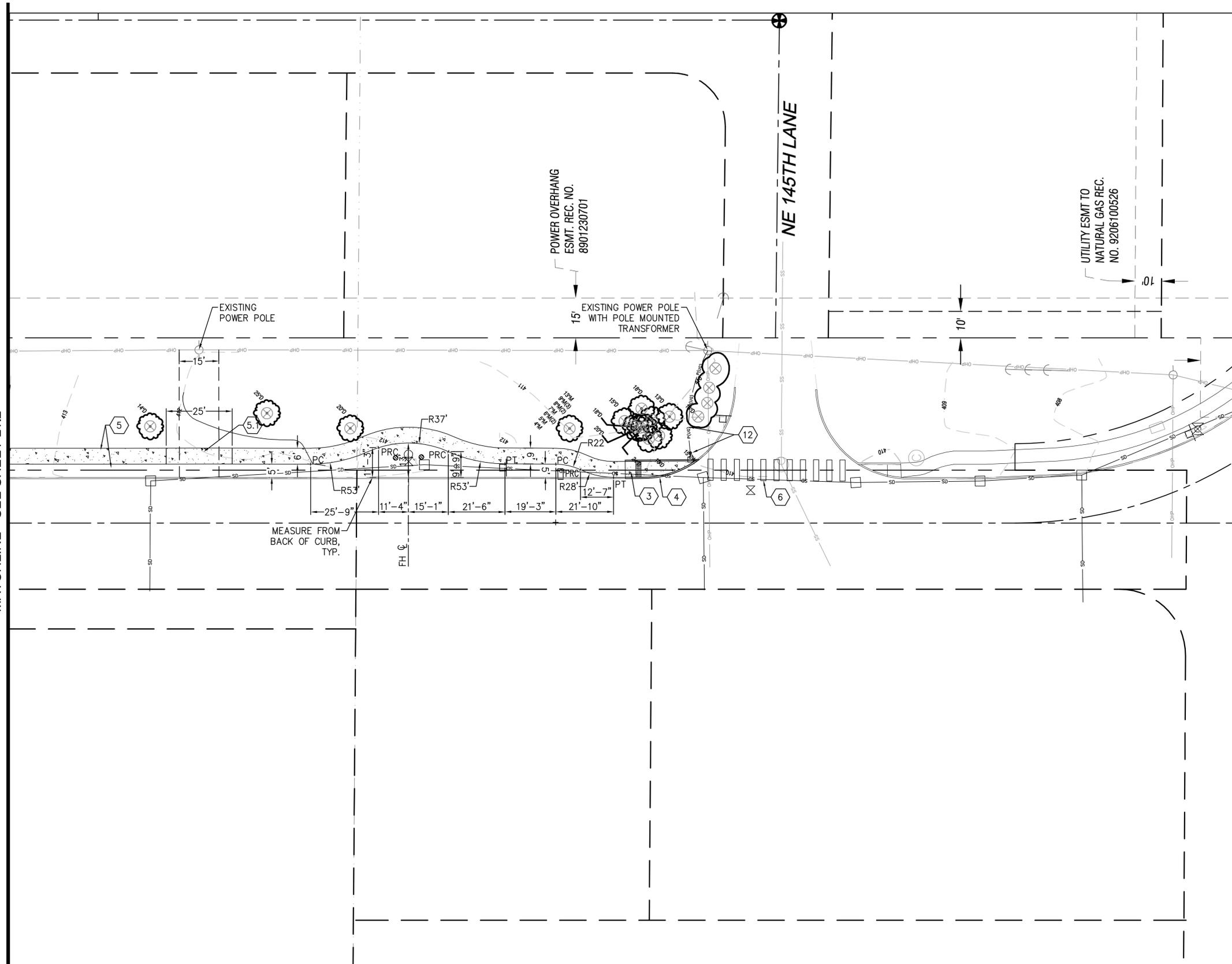
EXISTING POWER POLE WITH POLE MOUNTED TRANSFORMER







MATCHLINE - SEE SHEET L1.2



**KEY NOTES:**

1. CURB RAMP PER DDS 03-04-003/L2.3, SIM.
2. CURB RAMP PER DDS 03-04-002/L2.3, SIM.
3. END SIDEWALK RAMP PER DDS 03-04-005/L2.3
4. VERTICAL CURB AND GUTTER PER 03-03-002A/L2.3
5. 5' PLANTER STRIP, 6' SIDEWALK AND JOINTING PER DDS 03-03-005B/L2.3, SIM.
- 5.1. INSTALL 25' OF 6" THICK CONCRETE SIDEWALK AT POWER POLE ACCESS.
6. THERMOPLASTIC CROSSWALK STRIPING PER WSDOT STANDARD PLAN M-15.10-01/L2.2 SIM.
7. ADDITIVE #1: SOLAR-POWERED RECTANGULAR RAPID FLASHING BEACON PEDESTRIAN CROSSWALK SYSTEM. SEE DETAIL 1/L2.4 INSTALL PER MANUFACTURERS RECOMMENDATIONS.
8. ADDITIVE #1: ACCESSIBLE PEDESTRIAN PUSHBUTTON POST, INSTALL PEDESTRIAN PUSHBUTTON ASSEMBLY AND INSTRUCTIONAL SIGN FROM PEDESTRIAN CROSSWALK SYSTEM, SEE NOTE 7.
9. ADDITIVE #1: PEDESTRIAN PUSHBUTTON ASSEMBLY AND INSTRUCTIONAL SIGN FROM PEDESTRIAN CROSSWALK SYSTEM, SEE NOTE 7. COORDINATE INSTALLATION ON NEW STREETLIGHT POLE WITH PSE.
10. ADDITIVE #2: EXERCISE STATION EQUIPMENT, OWNER FURNISHED CONTRACTOR INSTALLED, SEE DETAIL 3/L2.4
11. ADDITIVE #2: EXERCISE AREA PERIMETER CURB AND ENGINEERED WOOD FIBER SURFACING, SEE DETAIL 2/L2.4
12. ADDITIVE #3: INSTALL CONDUIT RUN FROM EXISTING POWER POLE AND STREET LIGHT TUBE PER PSE SPECIFICATIONS, SEE SHEET L2.5. FIELD VERIFY LOCATIONS WITH PSE. STREETLIGHT POLES AND FIXTURES INSTALLED BY OTHERS.
13. TREE PROTECTION FENCING PER 1-10.10-01/L2.2, SIM. INSTALL AT LOCATIONS AS SHOWN AND DIRECTED BY THE ARBORIST.
14. TREE CRITICAL ROOT ZONE AND INNER CRITICAL. ALL WORK PERFORMED WITHIN ROOT ZONES OF TREES TO BE RETAINED SHALL BE DONE WITH THE ARBORIST PRESENT, TYP.
15. BENCHES, OWNER FURNISHED OWNER INSTALLED. CONCRETE PAD INSTALLED BY CONTRACTOR.

**ABBREVIATIONS:**

- CL = CENTERLINE
- CB = CATCH BASIN
- FH = FIRE HYDRANT
- MH = MANHOLE
- PC = POINT OF CURVATURE
- PRC = POINT OF REVERSE CURVATURE
- PT = POINT OF TANGENCY
- R = RADIUS
- RP = RADIUS POINT



SCALE:  
 AS NOTED  
 PROJECT MANAGER:  
 CHRIS PETERSEN  
 LANDSCAPE ARCHITECT:  
 DANIEL ROBBERN  
 DRAWN BY:  
 DANIEL ROBBERN  
 ISSUE DATE:  
 4/24/2020

NO	DATE	BY	REVISIONS

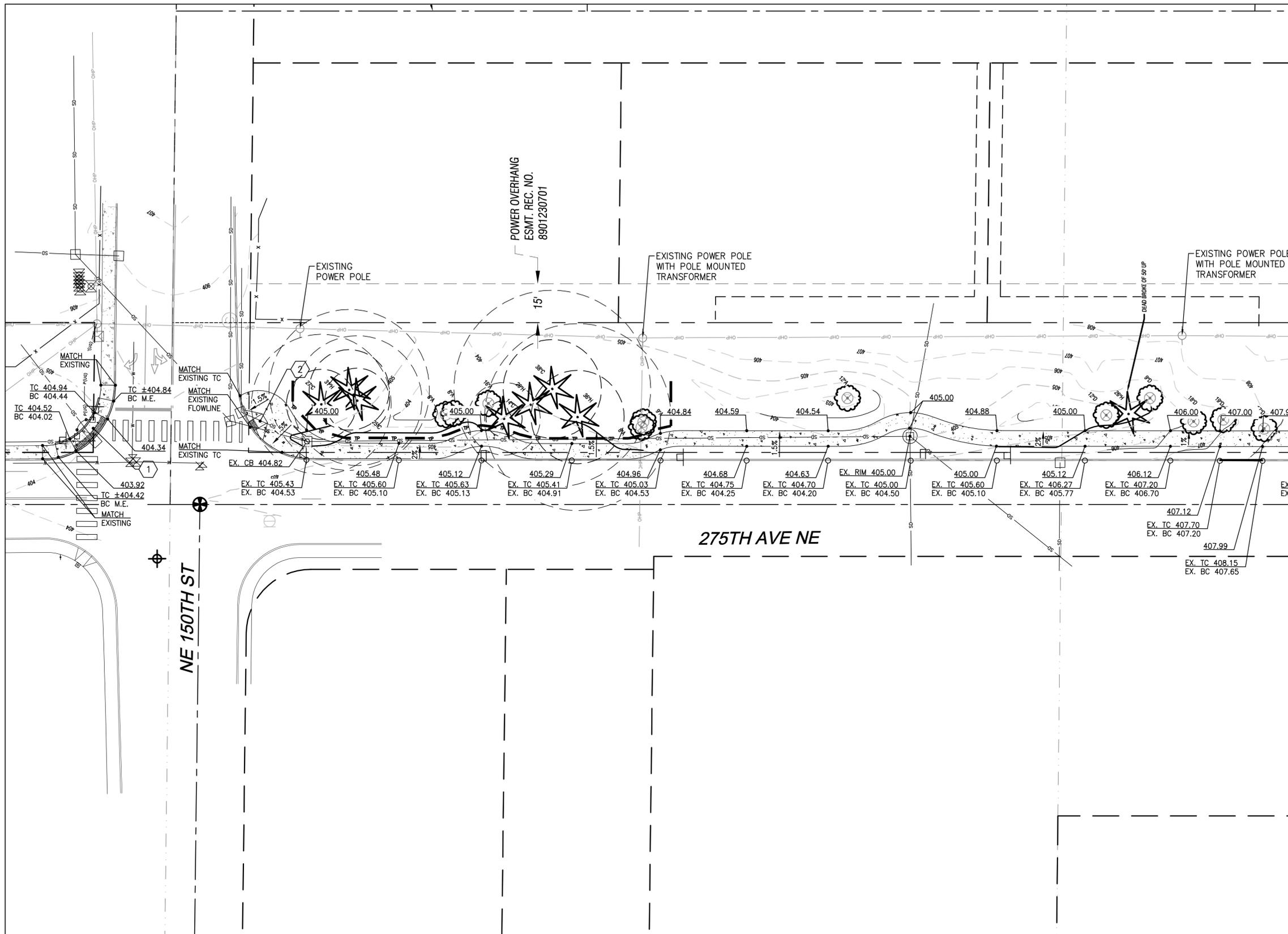
**SITE LAYOUT PLAN**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
 275th Avenue NE  
 Duvall, WA 98019  
 Owner: City of Duvall, WA



JOB NUMBER:  
**19-089**  
 SHEET #:  
**L1.3**  
 BID DOCUMENTS  
 APRIL 8, 2020

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MATCHLINE - SEE SHEET L1.5

**KEY NOTES:**

- CURB RAMP PER DDS 03-04-003, SIM. GRADE RAMP AS SHOWN IN DETAIL.
- CURB RAMP PER DDS 03-04-002, SIM. GRADE RAMP AS SHOWN IN DETAIL.
- END SIDEWALK RAMP PER DDS 03-04-005. GRADE RAMP AS SHOWN IN DETAIL.

**ABBREVIATIONS:**

- TC = TOP OF CURB  
 BC = BOTTOM OF CURB (FLOWLINE)  
 M.E. = MATCH EXISTING

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PROJECT MANAGER:  
 CHRIS PETERSEN

LANDSCAPE ARCHITECT:  
 DANIEL ROBBERN

DRAWN BY:  
 DANIEL ROBBERN

ISSUE DATE:  
 4/24/2020

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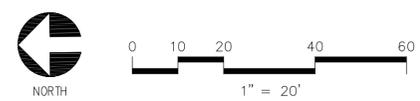
**SITE GRADING PLAN**  
 275th Avenue Complete Streets  
 Sidewalk Design  
 275th Avenue NE  
 Duvall, WA 98019  
 Owner: City of Duvall, WA



JOB NUMBER:  
**19-089**

SHEET #:  
**L1.4**

BID DOCUMENTS  
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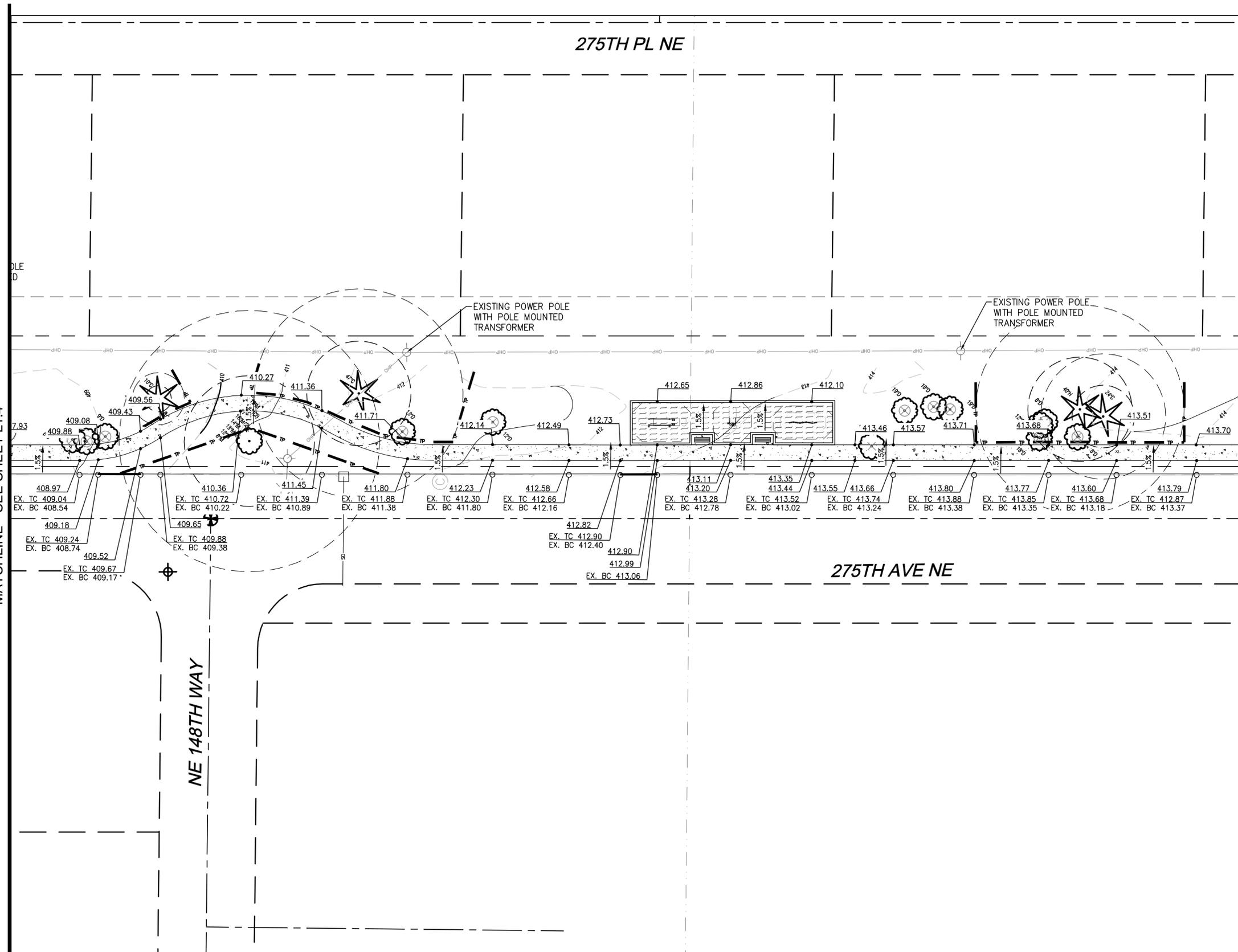


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MATCHLINE - SEE SHEET L1.4

MATCHLINE - SEE SHEET L1.6



**KEY NOTES:**

1. CURB RAMP PER DDS 03-04-003, SIM. GRADE RAMP AS SHOWN IN DETAIL.
2. CURB RAMP PER DDS 03-04-002, SIM. GRADE RAMP AS SHOWN IN DETAIL.
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**ABBREVIATIONS:**

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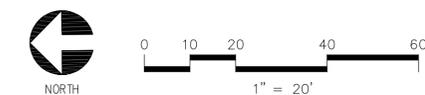
SCALE:  
 AS NOTED  
 PROJECT MANAGER:  
**CHRIS PETERSEN**  
 LANDSCAPE ARCHITECT:  
**DANIEL ROBBERN**  
 DRAWN BY:  
**DANIEL ROBBERN**  
 ISSUE DATE:  
**4/24/2020**

NO	DATE	BY	REVISIONS

**SITE GRADING PLAN**  
**275th Avenue Complete Streets**  
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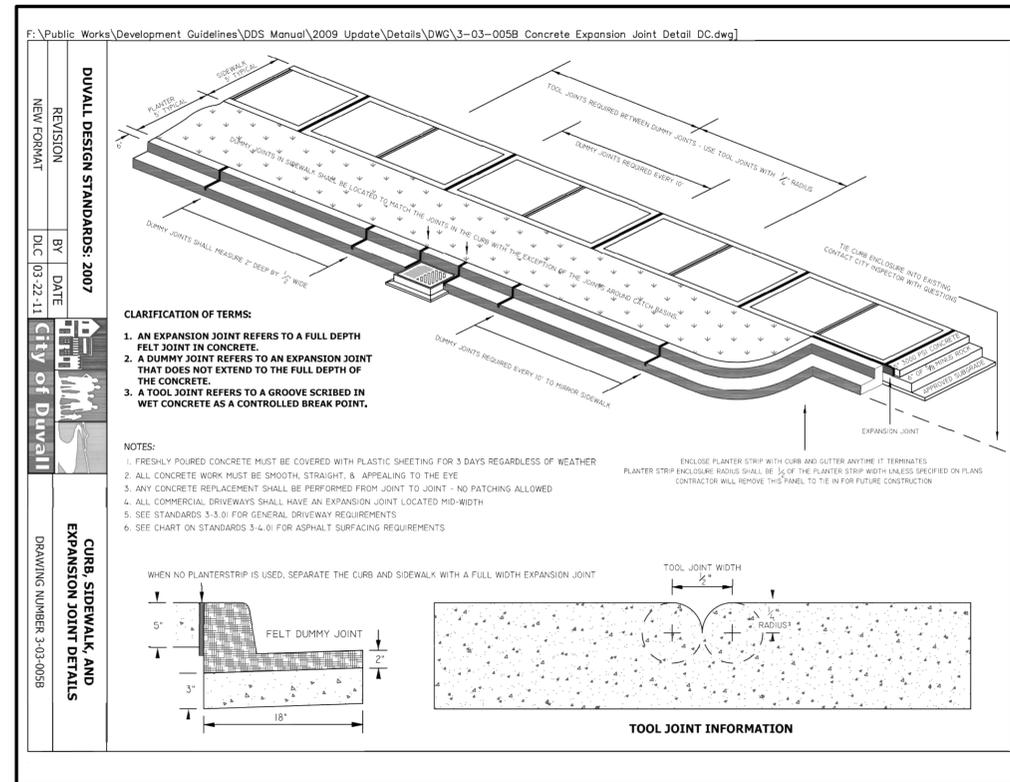
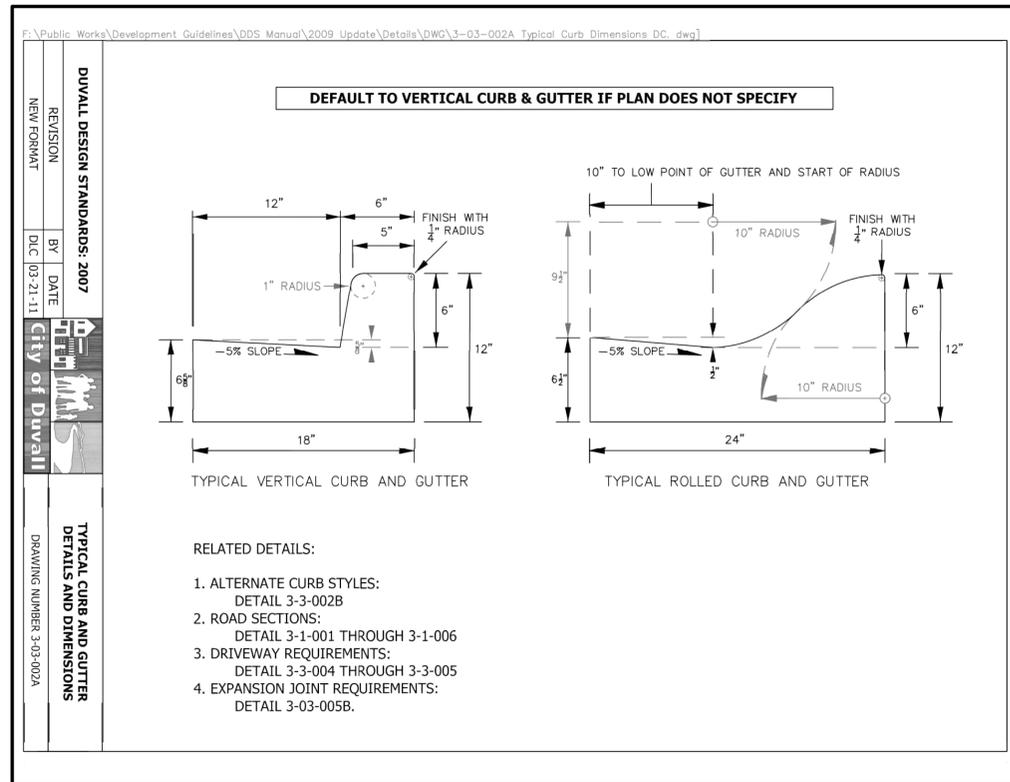
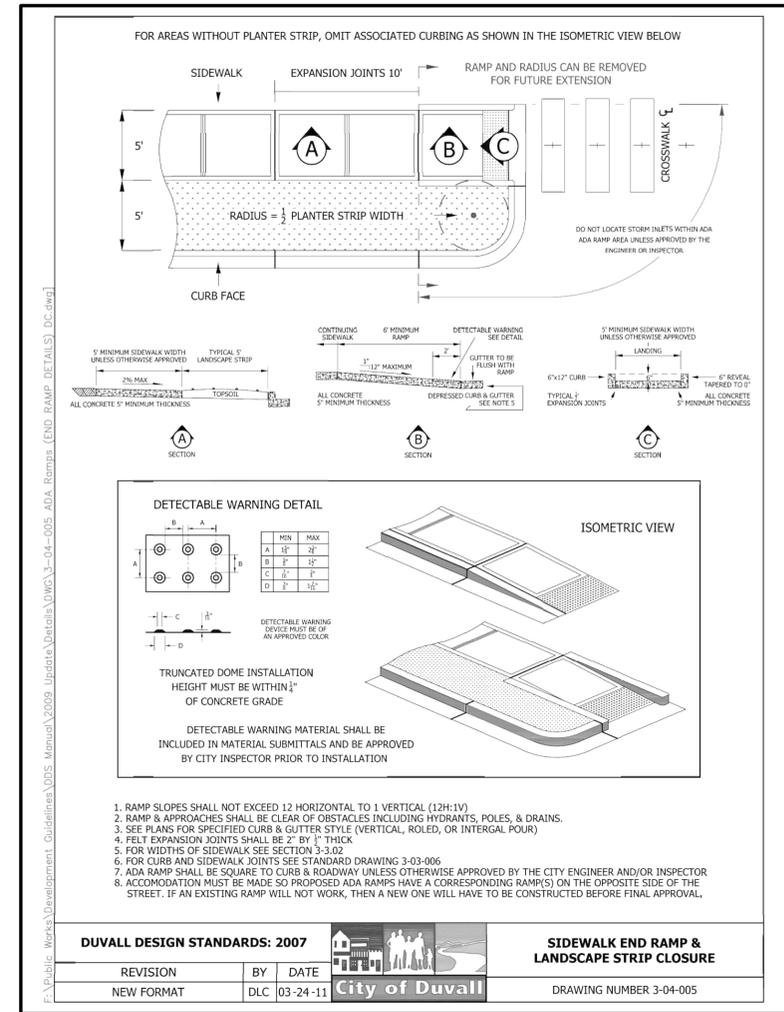
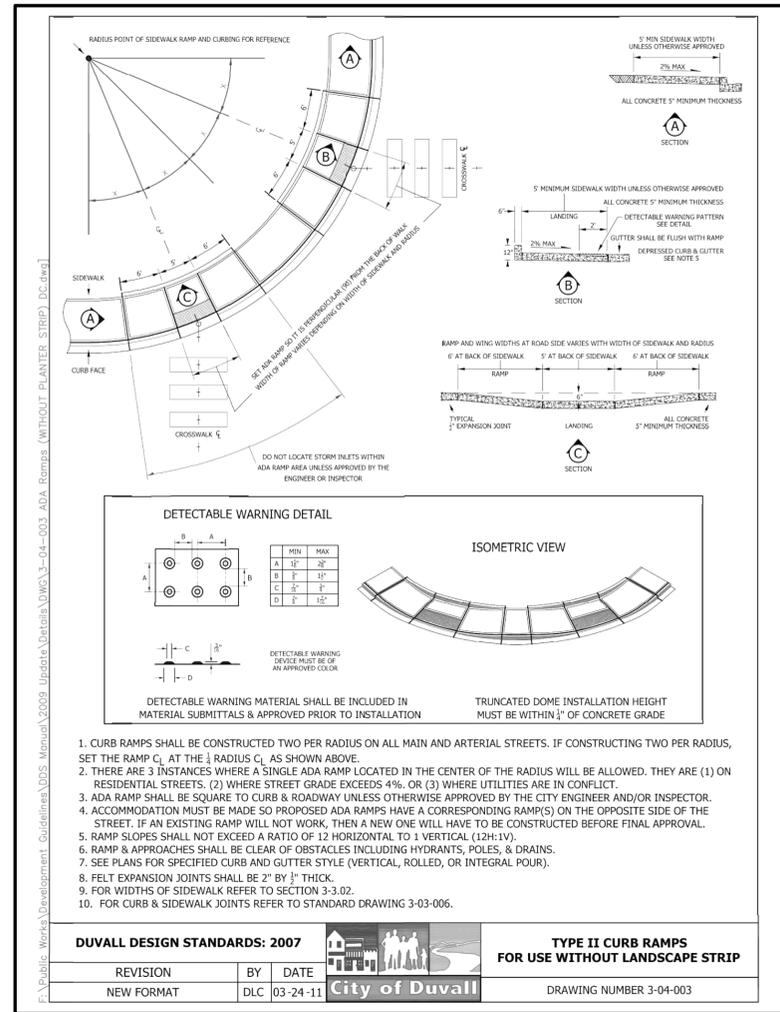
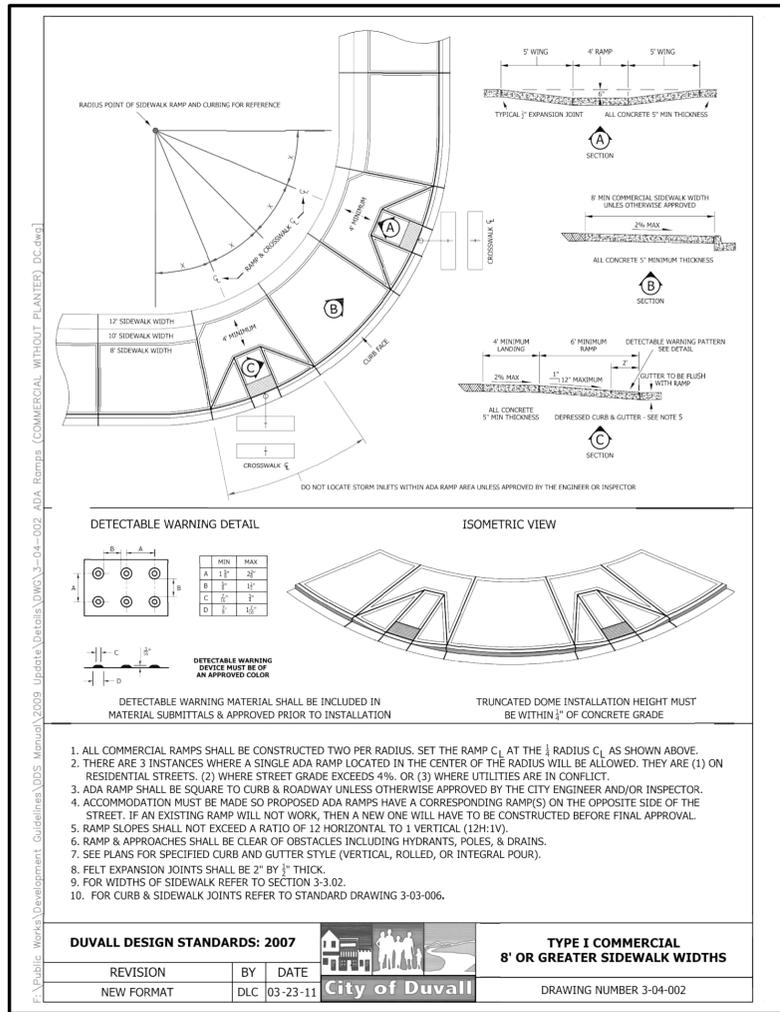
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**L1.5**  
 BID DOCUMENTS  
 APRIL 8, 2020





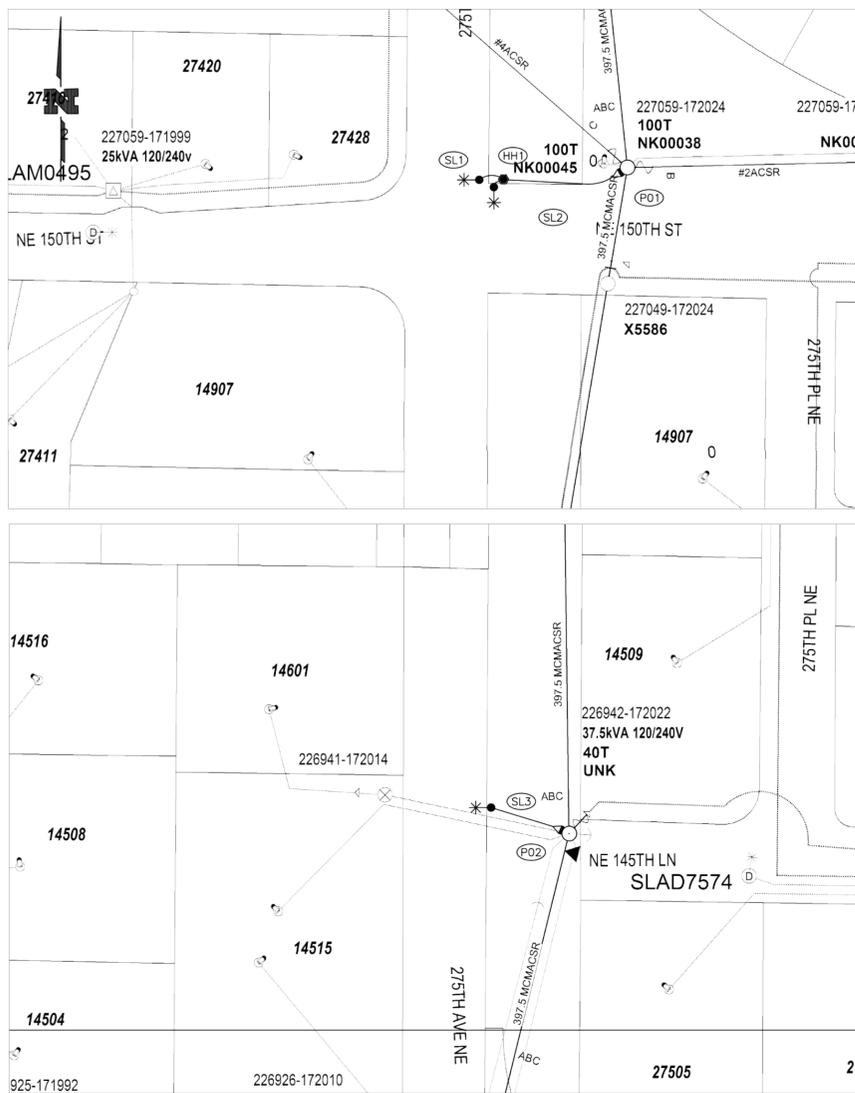






NO	DATE	BY	REVISIONS





**SITE PLAN**  
SCALE: 1"=50'

**STREET LIGHT TABLE**

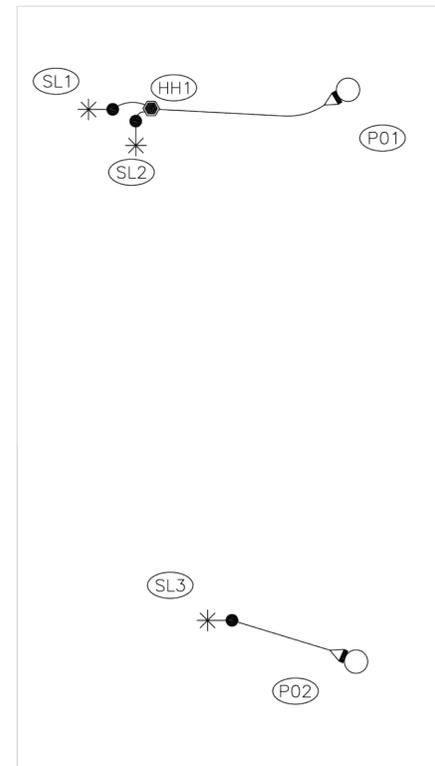
SITE #	GRID #	POLE			LUMINAIRE		TUBE		POLE BASE TYPE (Direct Buried or Basemount)	WO # (INTOLIGHT)	BILLING SCH.	TOTAL CONN LOAD	
		INTOLIGHT TAG #	TYPE	MTG HT.	ARM	WATTS	STYLE	TUBE LENGTH					TUBE DIAMETER
SL1			GREEN FIBER GLASS	25'	6' (GRN)	39W	CHFL 3K T2 LED	5'	18"	DIRECT BURIED	105091053	51	120/240
SL2			GREEN FIBER GLASS	25'	6' (GRN)	39W	CHFL 3K T2 LED	5'	18"	DIRECT BURIED	105091053	51	120/240
SL3			GREEN FIBER GLASS	25'	6' (GRN)	39W	CHFL 3K T2 LED	5'	18"	DIRECT BURIED	105091053	51	120/240

**STREET LIGHT CIRCUITRY TABLE**

SITE #	FROM	CABLE INFO		AS-BUILT		REMARKS
		TYPE	LF	TYPE	LENGTH	
HH1	P01	#6 TPX	95			
SL1	HH1	#6 TPX	15			
SL2	HH1	#6 TPX	15			
SL3	P02	#6 TPX	75			
TOTAL FT =			200	TOTAL FT =		

**STREET LIGHT HANDHOLE TABLE**

SITE	PEDESTAL OR HANDHOLE	NUMBER OF POSITIONS REQUIRED	REMARKS
HH1	HANDHOLE	3	



**UG CIRCUITRY**  
SCALE: N.T.S.

**SCOPE OF PROJECT:**

**DEVELOPER TO:**  
 -TRENCH AND INSTALL ALL 2" SCH40 CONDUIT  
 -INSTALL 5'X18" PLASTIC CORRUGATED STREET LIGHT TUBE

**POTELCO TO:**  
 -INSTALL RISER AT P01 & P02  
 -INSTALL AND ENERGIZE ALL #6 TPX & HANDHOLE

**AT SITES SL1, SL2, & SL3:**  
 -INSTALL 25'MH GREEN FIBER GLASS POLE  
 -INSTALL NEW 39W CHFL 3000K TYPE 2 LED LUMINAIRES W/ 6' GREEN ARM ON NEW POLE  
 \*ORIENT LIGHTS AS SHOWN

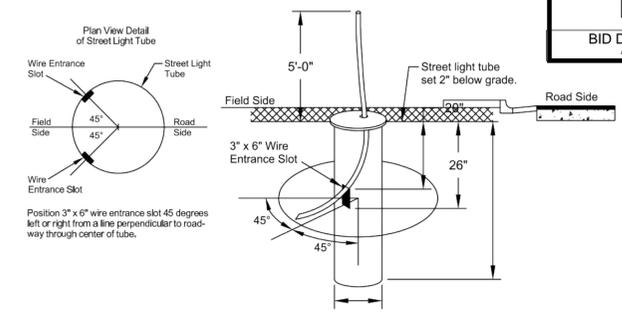
\*\*FLAGGING MAY BE REQUIRED

**STREET LIGHT NOTES**

- POTELCO:**
- ALL STREET LIGHTING POLES ARE TO BE INSTALLED PER STANDARD 6375.4800 (page #2) IN THE "LINE WORK PRACTICES MANUAL".
  - ALL POLES (WOOD, CONCRETE OR FIBERGLASS) ARE TO BE SET PLUMB AND EMBEDDED TO THE GROUND LINE MARKED ON THE POLE.
  - BACKFILL AROUND POLE WITH 5/8" MINUS GRAVEL AND COMPACT IN 6" LIFTS. (PEA GRAVEL AND NATIVE SOILS ARE NOT ACCEPTABLE.) APPROXIMATELY 1 CU. YD. OF 5/8" MINUS CRUSHED ROCK WILL BE REQUIRED.
  - IN ALL SHOEBOX AND COBRAHEAD INSTALLATIONS, THE LUMINAIRE MUST BE LEVELED.

**DEVELOPER/CUSTOMER:**

- THE DEVELOPER IS REQUIRED TO SUPPLY AND INSTALL PLASTIC (NON PAPER) STREET LIGHT TUBES (MINIMUM 18" DIAMETER) TO AID IN THE INSTALLATION OF THE STREET LIGHTING POLES.
- DEVELOPER MUST SUPPLY DURABLE LID/COVER AT EACH STREET LIGHT TUBE.



**STREET LIGHT TUBE DETAIL**  
SCALE: NONE

FOREMAN (CHECK BOX WHEN COMPLETED)

PSE Equipment LOCKED/SECURED & Work Area left in CLEAN/SAFE Condition

Grid, Cable, and Switch numbers INSTALLED & VERIFIED

Field Changes RECORDED on As-built

Material VERIFIED and CHANGES noted on Paperwork

Total PRIMARY Cable noted on As-built

Company ID#s RECORDED in correct location on As-built

Indicate correct FUSE SIZE on As-built & VERIFY proper PHASE

Correct QA Checklist(s) reviewed.

Deviations noted on the As-built and their reason.

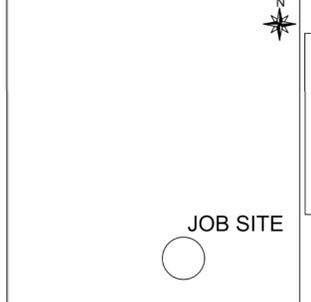
I certify that the work performed meets PSE's standards and procedures and that all quality requirements are met.

Foreman's Signature \_\_\_\_\_ Date \_\_\_\_\_

PROJECT PHASE	NOTIF#	ORDER#
PWR Superior		
New Install	508918916	105094053
St. Light		
Removal		
Temporary		
Job Order		
GAS Distribution		
HP Main		
HP Svc/MS		
CABLE TV		
PHONE		

**Project Manager Contact Information:**  
 Lane Mahler  
 425-429-1356 Cell Phone

**Vicinity Map TG Pg. ### Grid ##**



**Owner / Developer Contact Info**  
 City of Duvall  
 15535 Main St NE  
 Duvall, WA 98019  
 ATTN: Alana McCoy 425-939-8045 cell

For contacts below dial 1-888-CALL PSE (225-5773)  
 CALL (800) 424-5555  
 2 BUSINESS DAYS BEFORE YOU DIG  
 THIS SKETCH NOT TO BE RELIED UPON FOR EXACT LOCATION OF EXISTING FACILITIES

NEW BUSINESS	CORRECTIVE / 10 DAY WAIVED	REAL ESTATE/EASEMENT	PERMIT
<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A	N/A
3		FUNCTION	CONTACT
2		ACCOUNT MGR	Brynja Almazan 253-395-6874
1		ENGR - POWER	Kayla Neckoruk 425-577-2392
REV#	BY	DESCRIPTION	ENGR - GAS
COUNTY	Emer Sect	Gas Wk Ctr	POWER WK CTR
KING			3515
1/4 SEC	OP MAP	PLAT MAP	DRAWN BY
			Kayla Neckoruk 425-577-2392
U-MAP NO (POWER)	OH CKT MAP	UG CKT MAP	CIRCUIT NO
2606E052	2607E076	N/A	DUV - 12
MAPPING			

JOINT FACILITIES ARRANGEMENTS			
UTILITIES	N/A	N/A	N/A
CONTACT	N/A	N/A	N/A
PHONE#	N/A	N/A	N/A

**PSE** **PUGET SOUND ENERGY**

**275TH AVE NE CROSSWALKS**  
 INSTALL NEW STREET LIGHTS  
 275TH AVE NE & NE 150TH ST, DUVAL, WA 98019

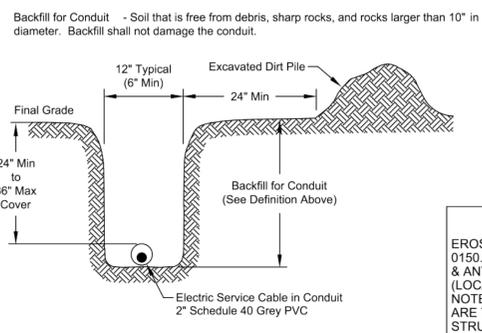
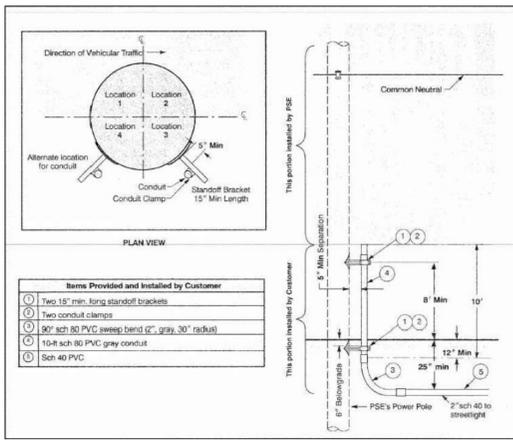
INCIDENT # \_\_\_\_\_ MAOP \_\_\_\_\_  
 Gas Order \_\_\_\_\_ Elect Order 105094053  
 SCALE 1"=50' PAGE 1 of 1

**PSE DETAILS**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
 275th Avenue NE  
 Duvall, WA 98019  
 Owner: City of Duvall, WA

**SHEET #:**  
**L2.5**  
 BID DOCUMENTS  
 APRIL 8, 2020

\*SHEET PROVIDED FOR REFERENCE ONLY.  
 CONFIRM INSTALLATION REQUIREMENTS WITH PSE

105094053



**EROSION & SEDIMENT CONTROL REQUIREMENTS**  
 EROSION & SEDIMENT CONTROL SHALL BE PER PSE STANDARD PRACTICE 0150.3200 TECHNIQUES FOR TEMPORARY EROSION & SEDIMENT CONTROL & ANY ADDITIONAL LOCAL JURISDICTION REQUIREMENTS (LOCAL JURISDICTIONS MAY HAVE ADDITIONAL REQUIREMENTS INCLUDING NOTES DETAILING WHERE EROSION OR SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED, CROSS SECTION DETAILS OF THE TYPICAL EROSION STRUCTURES, & SPECIAL REQUIREMENTS FOR WORK IN SENSITIVE AREAS.)



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SCALE:

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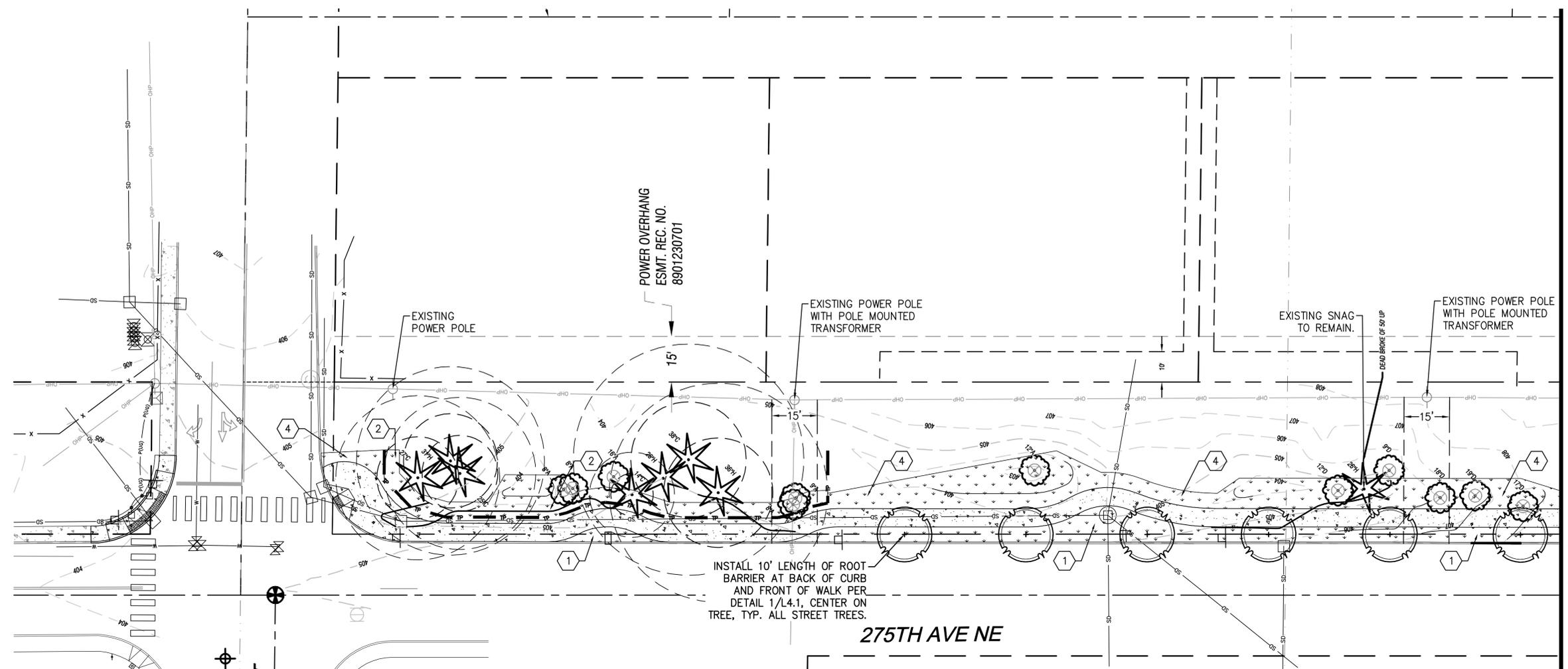
PROJECT MANAGER:  
**CHRIS PETERSEN**

LANDSCAPE ARCHITECT:  
**DANIEL ROBBERN**

DRAWN BY:  
**DANIEL ROBBERN**

ISSUE DATE:  
**4/24/2020**

NO	DATE	BY	REVISIONS



MATCHLINE - SEE SHEET L3.2

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	9	ACER CIRCINATUM / VINE MAPLE	B & B	6' MIN PLANTED HEIGHT
	24	ACER GRISEUM 'JFS KWABAGRI' / FIREBURST PAPERBARK MAPLE	B & B	2" CAL, 8' MIN BRANCH HEIGHT
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	12	CORNUS SERICEA 'BAILEY' / RED TWIG DOGWOOD	2 GAL	72" o.c.
	29	CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	1 GAL	24" o.c.
	17	PHILADELPHUS X VIRGINALIS / MOCK ORANGE	2 GAL	60" o.c.
	18	PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	2 GAL	48" o.c.
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT	SEED
	16,196 SF	TURF SEED / DROUGHT TOLERANT FESCUE-RYE BLEND	SEED	

**SOIL PREPARATION NOTES:**

1. PLANTER STRIP: LOOSEN EXISTING TOPSOIL BY ROTOTILLING OR RIPPING TO A DEPTH OF 12" AND PREPARE FOR SEEDING PER SECTION 329300-3.3.
2. TREE PROTECTION AREAS: FINE GRADE AND PREPARE AREAS CLEARED OF VEGETATION FOR SEEDING PER SECTION 329300-3.3.
3. SHRUB PLANTING AREAS: AMEND SOIL IN CLEARED AREAS TO RECEIVE SHRUBS WITH 3" OF COMPOST PER SWMMWW BMP T5.13 AND PREPARE FOR PLANTING PER 329300.
4. SEEDED AREAS: FINE GRADE AND PREPARE AREAS CLEARED OF VEGETATION FOR SEEDING PER SECTION 329300-3.3. ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED PER SWMMWW BMP T5.13.
5. ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY OF ANY KIND, INCLUDING STORAGE OF MATERIALS, SHALL RECEIVE FULL SUBGRADE PREPARATION INCLUDING COMPOST AND HYDROSEEDING PER SWMMWW BMP T5.13.

**LANDSCAPE PLAN**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
 275th Avenue NE  
 Duvall, WA 98019  
 Owner: City of Duvall, WA



JOB NUMBER:  
**19-089**

SHEET #:  
**L3.1**

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**DANIEL ROBBERN**

DRAWN BY:  
**DANIEL ROBBERN**

ISSUE DATE:  
**4/24/2020**

NO	DATE	BY	REVISIONS

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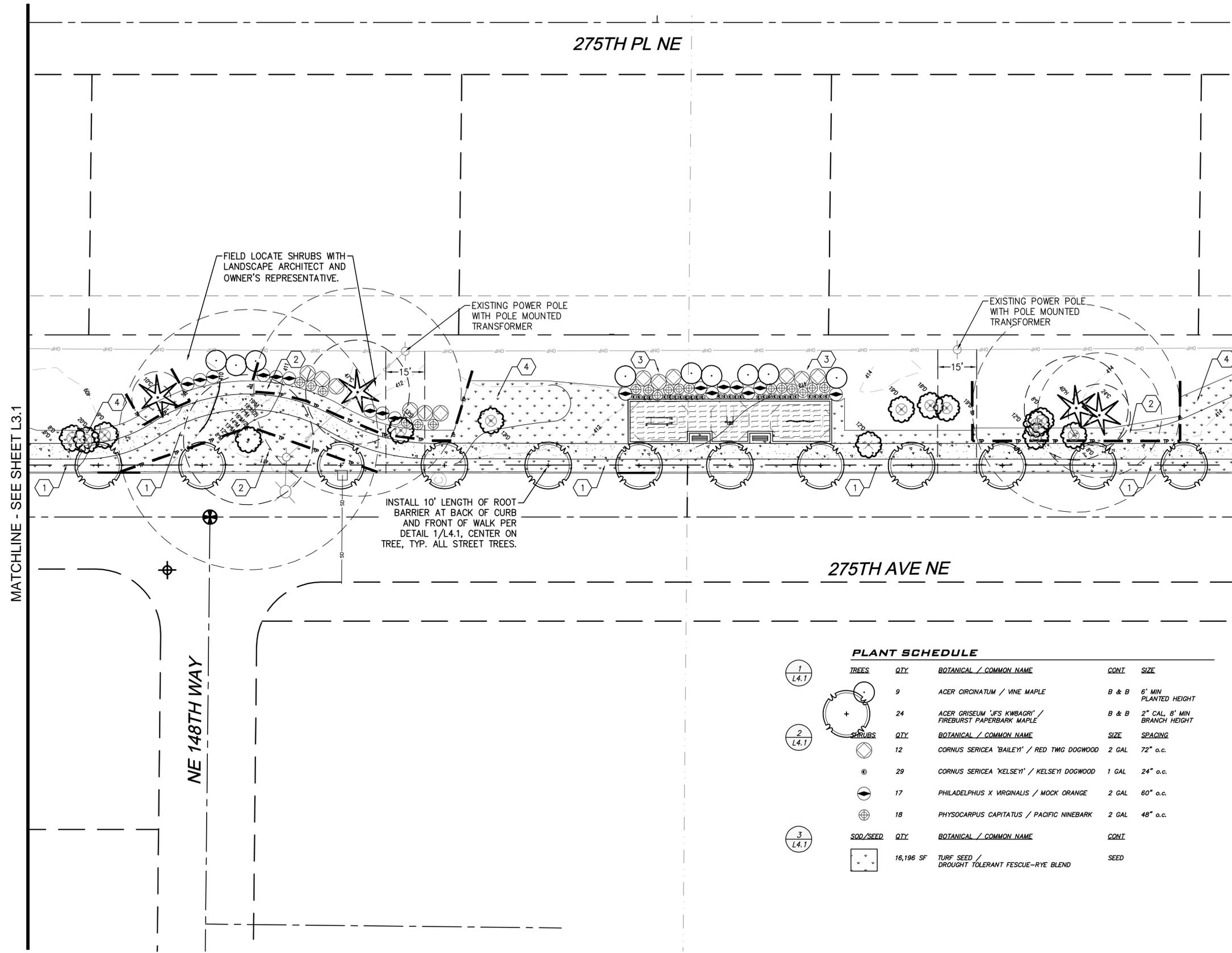
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**19-089**

SHEET #:

**L3.2**

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APRIL 8, 2020

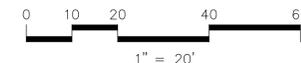


**PLANT SCHEDULE**

TREES	QTY.	BOTANICAL / COMMON NAME	CONT.	SIZE
1 L4.1	9	ACER CIRCINATUM / VINE MAPLE	B & B	6' MIN PLANTED HEIGHT
2 L4.1	24	ACER GRISELUM 'JFS KWABAGRI' / FIREBURST PAPERBARK MAPLE	B & B	2" CAL, 8' MIN BRANCH HEIGHT
3 L4.1	12	CORNUS SERICEA 'BAILEY' / RED TWIG DOGWOOD	2 GAL	72" o.c.
	29	CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	1 GAL	24" o.c.
	17	PHILADELPHUS X VIRGINALIS / MOCK ORANGE	2 GAL	60" o.c.
	18	PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	2 GAL	48" o.c.
SOD/SEED	QTY.	BOTANICAL / COMMON NAME	CONT.	
	16,196 SF	TURF SEED / DROUGHT TOLERANT FESCUE-RYE BLEND	SEED	

**SOIL PREPARATION NOTES:**

1. PLANTER STRIP: LOOSEN EXISTING TOPSOIL BY ROTOTILLING OR RIPPING TO A DEPTH OF 12" AND PREPARE FOR SEEDING PER SECTION 329300-3.3.
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LANDSCAPE ARCHITECT:  
**DANIEL ROBBERN**

DRAWN BY:  
**DANIEL ROBBERN**

ISSUE DATE:  
**4/24/2020**

NO	DATE	BY	REVISIONS

**LANDSCAPE PLAN**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
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 Owner: City of Duvall, WA



JOB NUMBER:

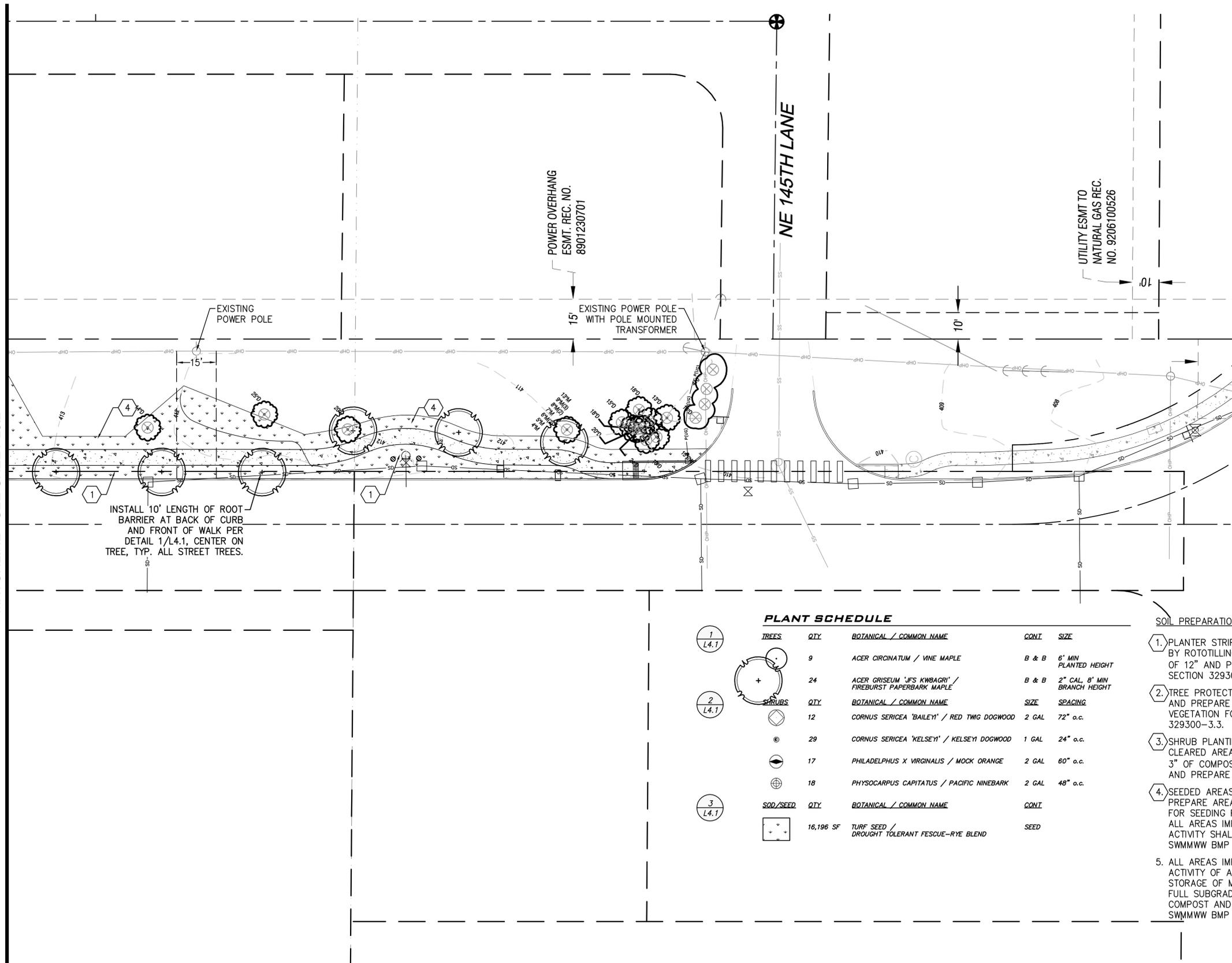
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SHEET #:

**L3.3**

BID DOCUMENTS  
APRIL 8, 2020

MATCHLINE - SEE SHEET L3.2



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
1 L4.1	9	ACER CIRCINATUM / VINE MAPLE	B & B	6' MIN PLANTED HEIGHT
2 L4.1	24	ACER GRISEUM 'IFS KWBAGRI' / FIREBURST PAPERBARK MAPLE	B & B	2" CAL, 8' MIN BRANCH HEIGHT
	12	CORNUS SERICEA 'BAILEY' / RED TWIG DOGWOOD	2 GAL	72" o.c.
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	18	PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	2 GAL	48" o.c.
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	16,196 SF	TURF SEED / DROUGHT TOLERANT FESCUE-RYE BLEND	SEED	

**SOIL PREPARATION NOTES:**

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NORTH





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SCALE:  
AS NOTED

PROJECT MANAGER:  
CHRIS PETERSEN

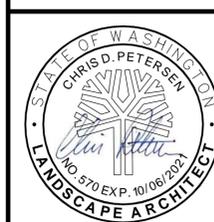
LANDSCAPE ARCHITECT:  
DANIEL ROBBERN

DRAWN BY:  
DANIEL ROBBERN

ISSUE DATE:  
4/24/2020

NO	DATE	BY	REVISIONS

**LANDSCAPE DETAILS AND NOTES**  
**275th Avenue Complete Streets**  
**Sidewalk Design**  
 275th Avenue NE  
 Duvall, WA 98019  
 Owner: City of Duvall, WA



JOB NUMBER:  
**19-089**

SHEET #:  
**L4.1**

BID DOCUMENTS  
APRIL 8, 2020

### GENERAL PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL SITE UTILITIES PRIOR TO LANDSCAPE IMPLEMENTATION. PLANT LOCATIONS MAY BE ADJUSTED TO AVOID CONFLICT.
- LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE IMPROVEMENTS, PAVING, WALLS, AND UNDERGROUND UTILITIES. DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST.
- PLANT COUNT IS FOR THE CONTRACTOR'S CONVENIENCE; IF THERE IS A DISCREPANCY, THE PLAN SHALL GOVERN. ACTUAL PLANT QUANTITIES TO BE DETERMINED BY REQUIRED PLANT SPACING.
- SUBSTITUTION OF PLANT VARIETIES DUE TO LACK OF AVAILABILITY SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
- FINISH GRADE OF MULCHED LANDSCAPE AREAS SHALL BE GRADED TO 1/2" MAX. BELOW CONCRETE OR OTHER PAVED SURFACES.
- ALL LANDSCAPE AREAS ARE TO BE MAINTAINED BY A LICENSED PROFESSIONAL LANDSCAPE MAINTENANCE COMPANY.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR MINIMUM FROM SUBSTANTIAL COMPLETION TO INCLUDE ONE FULL GROWING SEASON (THROUGH SEPT. 30).
- ALL AREAS LEFT UNPLANTED SHALL BE DRESSED WITH 3" DEPTH BARK MULCH.
- ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY OF ANY KIND, INCLUDING STORAGE OF MATERIALS, SHALL RECEIVE FULL SUBGRADE PREPARATION INCLUDING COMPOST AND HYDROSEEDING PER SWMMWW BMP T5.13.

ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

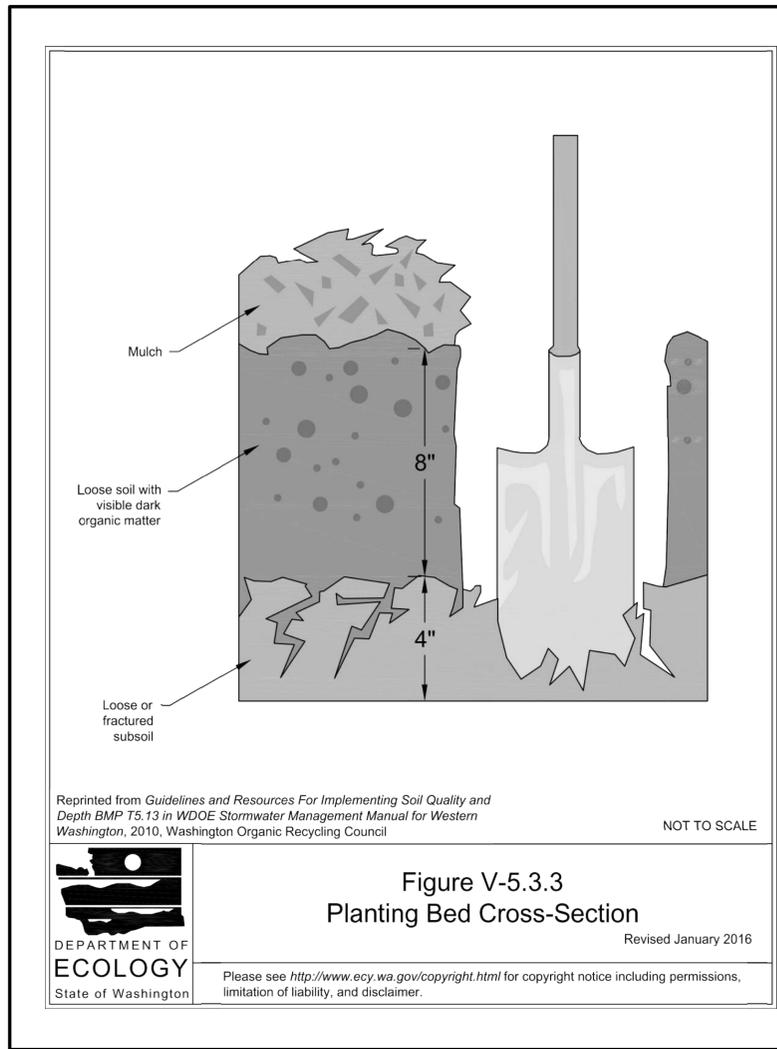
**SOIL QUALITY:**  
 A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BED, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 AND 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. USE COMPOST AND OTHER MATERIALS THAT MEET THE COMPOST GUIDELINES.

**SOIL DEPTH:**  
 THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4-INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS WHERE FEASIBLE. PLANTING BEDS SHOULD HAVE 2-INCHES OF ORGANIC MATERIAL AS WELL.

**COMPOST GUIDELINES:**  
 MUST MEET THE DEFINITION OF "COMPOSTED MATERIAL" IN WAC 173-350-100 AND COMPLIES WITH TESTING PARAMETERS AND OTHER STANDARDS IN WAC 173-350-220. MUST BE PRODUCED AT A PERMITTED COMPOSTING FACILITY. ORGANIC MATTER CONTENT SHALL BE 40% TO 65%. CARBON TO NITROGEN RATION MUST BE LESS THAN 25:1. THE C:N RATION MAY BE UP TO 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PUGET SOUND LOWLAND NATIVE SPECIES AND UP TO 40:1 FOR COARSE COMPOST TO BE USED AS A SURFACE MULCH (NOT IN A SOIL MIX).

- IMPLEMENTATION OPTIONS:**
- LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
  - AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
  - STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
  - IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

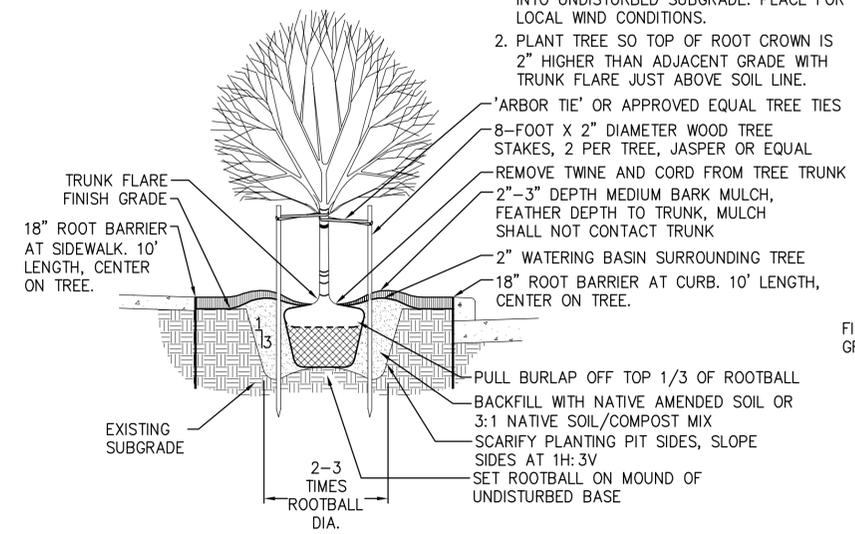


Reprinted from *Guidelines and Resources For Implementing Soil Quality and Depth BMP T5.13* in *WDOE Stormwater Management Manual for Western Washington*, 2010, Washington Organic Recycling Council NOT TO SCALE

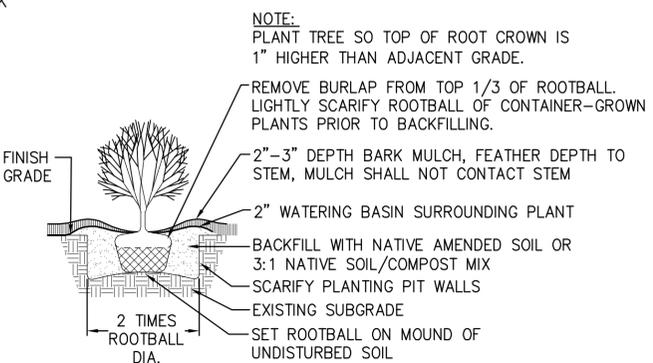
**Figure V-5.3.3**  
**Planting Bed Cross-Section**  
 Revised January 2016  
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### NOTES:

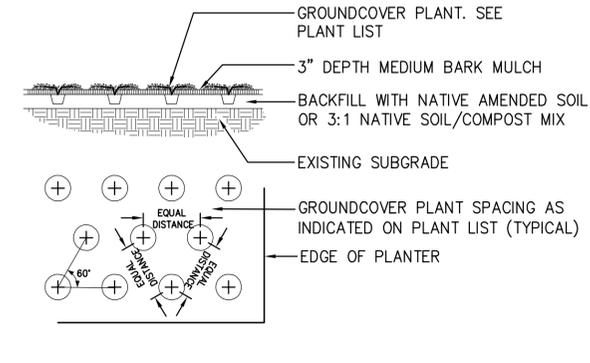
- TREE STAKES TO BE VERTICAL, PARALLEL, EVEN-TOPPED, UNSCARRED AND DRIVEN INTO UNDISTURBED SUBGRADE. PLACE FOR LOCAL WIND CONDITIONS.
- PLANT TREE SO TOP OF ROOT CROWN IS 2" HIGHER THAN ADJACENT GRADE WITH TRUNK FLARE JUST ABOVE SOIL LINE.



**1** **DECIDUOUS STREET TREE PLANTING**  
 SCALE: 1/2" = 1'-0"



**2** **SHRUB TREE PLANTING**  
 SCALE: 1/2" = 1'-0"



**3** **GROUNDCOVER PLANTING**  
 SCALE: 1/2" = 1'-0"