

PLANNING COMMISSION MEETING AGENDA

Duvall Visitor Center, 15619 Main Street, Duvall
Wednesday, July 11, 2018, at 7:00 p.m.

1. **Call to Order – Flag Salute**
2. **Roll Call**
3. **Announcements**
4. **Approval of Minutes**
Minutes from the June 27, 2018 Planning Commission Meeting
5. **Citizens' Comments and Requests – Items Not on the Agenda**
6. **Public Hearing(s)**
7. **Old Business**
8. **New Business**
A. *Design Review* – Riverview School District Portable
9. **Presentation**
10. **Good of the Order**
11. **Adjournment**

Materials List

- *Agenda*
- *Draft Minutes from the June 27, 2018 Planning Commission Meeting*
- *Design Review Packet for Riverview School District Portable*

(Please call Diana Hart [425] 788-2779 if you have any questions or if you cannot attend the meeting.)

Meeting Room is Wheelchair Accessible. Americans With Disabilities Act - Reasonable Accommodations Provided Upon Request - (425) 788-2779



Small Town. Real Life.

Meeting Minutes
City of Duvall Planning Commission Meeting

Date: June 27, 2018

Time: 7:00 PM

Place: Duvall Visitor Center, 15619 Main Street NE, Duvall WA 98019

Commissioners Present: Jim Deal, Ronn Mercer, Robert Walker, Michael Yelle, Eric Preston, Jason Brown

Commissioners Absent: None

Staff Present: Troy Davis, Senior Planner; Diana Hart, Administrative Assistant

Others Present:

Call to Order – Flag Salute

The Planning Commission meeting was called to order by Commissioner Mercer at 7:04 PM.

1. Announcements

A. Senior Planner Troy Davis announced that the applications for the Planning Commission vacancy will close on July 6th.

2. Approval of Minutes

It was moved and seconded (*Walker-Deal*) to approve the minutes from the June 13, 2018 Planning Commission meeting. The motion carried.

It was moved and seconded (*Deal-Preston*) to approve the minutes from the June 20, 2018 Planning Commission meeting. The motion carried.

3. Public Hearings

None.

4. Presentation

None.

5. Old Business

A. *Design Review – Duvall Urban Village Block Lots (Toll Brothers)*

Senior Planner Troy Davis stated that the applicant had submitted departure requests and that the Planning Department was removing the former recommendation conditions 2-4 and correcting the language on condition 5.

Discussion of building height calculations and current design guidelines.

It was moved and seconded (*Deal-Walker*) to recommend design approval of the Duvall Urban Village-1 Block Lots to the City's Hearing Examiner with conditions. . The motion carried.

6. New Business

A. Workshop – Review of Current Development

Senior Planner Troy Davis gave an explanation of the pre-application process and reviewed the submitted pre-applications and their locations for all pre-applications to date for 2018.

Mr. Davis reviewed the location and status of all submitted projects.

B. Workshop – Discussion of Current Permit Processing Requirements for Minor New Construction

Senior Planner Troy Davis provided an overview of the current permit process and explained the issue with how site plans are not distinguished by size, scope, or value with regards to the permitting process. Mr. Davis stated that the Department will work on a code amendment to establish a more efficient permit review process for smaller site plan projects.

7. Good of the Order

None

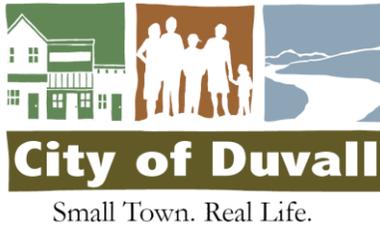
8. Citizens' Comments and Requests – Items Not on the Agenda

Non-Duvall Resident, Marie Schrader, owner of Boxhill Farm expressed several main concerns regarding the neighboring Duvall Village project:

- i. Property lines should be surveyed before development begins
- ii. Amount of water and quality of water moving through new developments
- iii. Elevation of retention ponds

9. Adjournment

The Planning Commission Meeting adjourned at 8:42 PM.



Memorandum

To: Planning Commission
From: Troy Davis
Date: July 11, 2018
Re: Riverview School District Portable

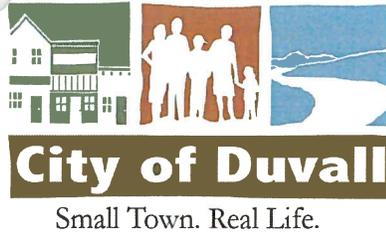
The Riverview School District submitted an application for Site Plan Review on June 12, 2018. The applicant, Steve Busig, on behalf of the Riverview School District, is seeking site plan review approval for the installation of one portable classroom building at Cherry Valley Elementary School located at 26701 NE Cherry Valley Road, Duvall, WA 98019 (TPN 1326069028). The Comprehensive Plan Land Use Designation for this property is PF (Public Facilities) and the zoning classification of this property is PF (Public Facilities).

The City's Design Guidelines don't specifically address modular buildings; however, we have required covered entry ways on all entrances and exits like what is required for homes. Covered entries are provided. The proposed portable classroom is similar in design to other approved school district portables.

Attachments:

1. Master Permit Application
2. Site Plan Review Application
3. Project Narrative
4. Site Plan

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 JUN 12 2018
CITY OF DUVALL



Planning Department
 15535 Main St. NE
 PO Box 1300
 Duvall, WA 98019
 (425) 788-2779
 FAX (425) 788-8097
www.duvallwa.gov

Master Permit Application

This form must be completed (clearly printed or typed) and submitted to the Planning Department to file an application. Additional materials are required for specific types of applications. Please provide 7 complete packets with copies of all required application materials (stapled or binder clipped). For questions, please contact the Planning Department at (425) 788-2779.

FOR STAFF USE ONLY

File No.:		Received By:			Date Received:		
Type of Application:	TYPE I	TYPE II	TYPE III		TYPE IV	TYPE V	TYPE VI
	<input type="checkbox"/> Administrative Interpretation <input type="checkbox"/> Boundary Line Adjustment <input type="checkbox"/> Wireless Facility <input type="checkbox"/> Other Construction Permits – no SEPA required <input type="checkbox"/> Final Site Plan	<input type="checkbox"/> Building Permit-SEPA required <input type="checkbox"/> Other construction permit – SEPA required <input type="checkbox"/> Sensitive Area Permits <input type="checkbox"/> Site Plans, Parks less than ½ acre in new area <input type="checkbox"/> Infill Development of duplexes and townhome	<input type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Shoreline Substantial Development Permit <input type="checkbox"/> Preliminary Short Subdivision <input type="checkbox"/> Site Plan/ Master Development Plan Over ½ acre <input type="checkbox"/> Vacations/Alterations <input type="checkbox"/> Reasonable Use Exception	<input type="checkbox"/> Shoreline Conditional Use Permit <input type="checkbox"/> Shoreline Variance <input type="checkbox"/> Preliminary Long Subdivision <input type="checkbox"/> Variance	<input type="checkbox"/> Rezone	<input type="checkbox"/> Final Plat <input type="checkbox"/> ROW Vacation	<input type="checkbox"/> UDR Text Amendment <input type="checkbox"/> Annexation <input type="checkbox"/> Area-Wide Zoning Map Amendment <input type="checkbox"/> Comp. Plan Amendment <input type="checkbox"/> Pre-Annexation Zoning
<input type="checkbox"/> Other Application (please explain):							

APPLICANT

Name (please print): Steve Busig		Phone # (425) 828 - 8948	
Email Address: sbusig@hoarch.com			
Street Address: 4010 Lake Wash Blvd NE, Suite 320		City: Kirkland	State: WA Zip: 98033

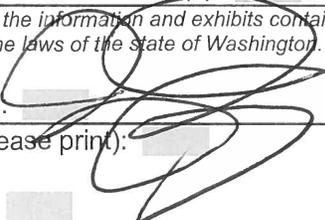
BASIC PROJECT INFORMATION

Project / Development Name: Portable Classroom Building for Cherry Valley Elementary School	Project / Development Location (including nearest intersections): 26701 NE Cherry Valley Rd, Duvall, WA 98019
Description of Proposed Action:	
Assessor / Tax Parcel Numbers (include 10-digit parcel number for all parcels within project boundaries):	
132606-9028	
Land Area of Project Site (sq. ft. & acres): 10.34 acres	Zoning District: PF Comp Plan Designation:

CONTINUED ON BACK PAGE

Present use of property: School		Are there Sensitive Areas on the property? No	
OWNER (if other than applicant)			
Name (please print): Ruby Perez, Riverview School District		Phone #: 425.844.4505	
Email Address: perezr@rsd407.org			
Street Address: 11510 1st Ave NE, PO Box 519	City: Duvall	State: WA	Zip: 98019

AUTHORIZATION TO FILE APPLICATION (all persons with an ownership interest in property)

Name (please print): Ruby Perez, Riverview School District		<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Contract Purchaser
Address: 11510 1st Ave NE, PO Box 519 Duvall, WA 98019		<input type="checkbox"/> Option Purchaser	
Phone #: (425) 844.4505		Option Expiration Date: _____	
Assessor Parcel Number(s): 132606-9028			
<i>I certify that the information and exhibits contained in and with this application is true and correct to the best of my knowledge and under the penalty of perjury by the laws of the State of Washington.</i>			
Signature: 			
Name (please print): _____		<input type="checkbox"/> Owner	<input type="checkbox"/> Contract Purchaser
Address: _____		<input type="checkbox"/> Option Purchaser	
Phone #: (_____) _____		Option Expiration Date: _____	
Assessor Parcel Number(s): _____			
Other Documents Required: 1. Application / Information for specific permit type. 2. SEPA Checklist.			
<i>I certify that the information and exhibits contained in and with this application is true and correct to the best of my knowledge and under the penalty of perjury by the laws of the state of Washington.</i>			
Signature: _____		Date: _____	

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APPLICANT NOTARY

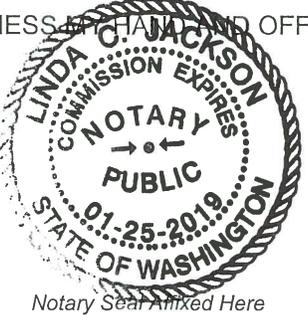
I, the undersigned, state that to the best of my knowledge the above information is true and complete. It is understood that the City of Duvall may nullify any decision made in reliance upon information given on this application form should there be any willful omission of significant information or any misrepresentation or willful lack of full disclosure on my part.

Applicant's Signature _____

STATE OF WASHINGTON }
COUNTY OF KING } SS

On this 11th day of June, 2018, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Steve Busig, to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that Steve Busig signed the same as Linda Jackson free and voluntary act and deed, for the uses and purposes therein mentioned, and on oath stated that he/she was authorized to execute said instrument.

WITNESS MY HAND AND OFFICIAL SEAL THIS 11th day of June, 2018.



Linda C. Jackson
Notary Public in and for the State of Washington
residing at Kirkland, WA

OWNER NOTARY (if other than Applicant)

I, the undersigned, state that to the best of my knowledge the above information is true and complete. It is understood that the City of Duvall may nullify any decision made in reliance upon information given on this application form should there be any willful omission of significant information or any misrepresentation or willful lack of full disclosure on my part.

Owner's Signature _____

STATE OF WASHINGTON }
COUNTY OF KING } SS

On this 11th day of June, 2018, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Ruby Perez, to me known to be the individual described in and who executed the within and foregoing instrument, and acknowledged that Ruby Perez signed the same as Linda Jackson free and voluntary act and deed, for the uses and purposes therein mentioned, and on oath stated that he/she was authorized to execute said instrument.

WITNESS MY HAND AND OFFICIAL SEAL THIS 11th day of June, 2018.



Linda C. Jackson
Notary Public in and for the State of Washington
residing at Kirkland, WA

The following tables set out the project permit decision making and appeal processes, the division of action types into permit types and the required procedure for each permit type.

Table 14.08.010.C.1 Project Permit Applications – Action Type

Project Permit Applications – Action Type						
TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI	
Boundary Line Adjustments	Building Permits – SEPA required	Conditional Use Permits	Rezones	Final Plats	UDR Text Amendments	
Minor exterior remodels, no building permit required		Shoreline Conditional Use Permits			Annexations ⁽²⁾	
Building Permits – no SEPA required	Other Construction permits – SEPA required	Shoreline Substantial Development Permits			Area-Wide Zoning Map Amendments	
Other Construction Permits – no SEPA required	Sensitive Area Permits	Shoreline Variances			Comprehensive Plan Amendments	
Wireless Facilities on Existing Structure – Camouflaged						Site Plans, Parks less than ½ acre in new area
Final Site Plan Permits	Development Agreements					
Administrative Interpretations		Shoreline Exemptions			Preliminary Short Subdivisions	Pre-Annexation Zoning ⁽³⁾
					Site Plans/Master Development Plan greater than ½ acre ⁽⁵⁾	
	Preliminary Long Subdivisions					
	Variances					
	Vacations or Alterations –Subdivisions					
	Reasonable Use Exceptions					

Table 14.08.010.C.2 Project Permit Applications – Decision Making and Appeal Process

Project Permit Applications – Decision Making and Appeal Process						
	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI
Final Decision made by	Director	Director	Hearing Examiner	City Council	City Council	City Council
Recommendation made by	N/A	N/A	Planning Department Planning Commission ⁽¹⁾	Planning Commission	Engineering Department	Planning Commission
Open Record Public Hearing – Decision	No	No	Yes – Hearing Examiner	Yes – City Council	No	Yes - Planning Commission ⁽⁴⁾ Yes - City Council
Open Record Public Hearing - Appeal	Yes	Yes	No	No	No	No
Closed Record Appeal	No	No	No	No	No	No
Appeal to:	Hearing Examiner	Hearing Examiner	King County Superior Court	King County Superior Court, SHB	King County Superior Court, GMHB	King County Superior Court, GMHB, SHB
Judicial Appeal	Yes	Yes	Yes	Yes	Yes	Yes

(1) Site plan applications require a recommendation by the Planning Commission and the Planning Department. See DMC 14.62 for Planning Commission criteria. All other Type III applications require a recommendation by the Planning Department.

(2) Annexation petition decisions are not appealable.

- (3) City Council shall hold two public hearings for a pre-zone application consistent with state law.
 - (4) Planning Commission does not hold a public hearing for a pre-zone application.
 - (5) Master Development Plan shall follow the criteria in DMC 14.62 and 14.18.060.
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Table 14.08.010.C.3 Required Procedures for Project Permit Applications

Required Procedures for Project Permit Applications						
	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI
Pre-Application Meeting	No	No	Yes	Yes	No	No
Notice of Completeness	No	Yes	Yes	Yes	Yes	No
Notice of Application	No	Yes	Yes	Yes	No	No
SEPA Determination ⁽¹⁾	No	Yes	Yes	Yes	No	Yes
Notice of Hearing	No	No	Yes	Yes	No	Yes
Notice of Decision	No	Yes	Yes	Yes	Yes	No
120 Day Review ⁽²⁾	No	Yes	Yes	No	No	No

(1) SEPA not required for projects that are categorically exempt in accordance with DMC 14.60.

(2) 120 Day Review does not apply to preliminary or final plats. Preliminary long or short plats have a 90-day review clock and final short or long plats, a 30-day review clock in accordance with RCW 58.17.140.

Table 14.08.010.C.4 Notice Requirements for Project Permit Applications

Notice Requirements for Project Permit Applications ¹							
	Send to Property Owners within 300'	Post Property	Publish Notice	Send to Agencies (including DRC)	Send to Applicant	Provide to PC	Provide to CC
Notice of Completeness	No	No	No	No	Yes	No	No
Notice of Application	Yes	Yes	No	Yes	Yes	Yes	Yes
SEPA Determination	No	No	Yes	Yes	Yes	Yes	Yes
Notice of Open Record Predecision Hearing, if applicable ²	Yes	Yes	Yes	No	Yes	Yes	Yes
Notice of Decision ⁽¹⁾	No	No	No	No	Yes	Yes	Yes
Notice of Open Record Appeal Hearing, if applicable	Yes	Yes	Yes	No	Yes	Yes	Yes

(1) Notices are sent to parties of record. (See DMC 14.08.030.)

(2) Preliminary plats; see additional notice requirements in DMC 14.08.030.F.4.b.

<p>Received Stamp RECEIVED</p> <p style="color: red; font-size: 1.2em;">JUN 12 2018</p> <p>CITY OF DUVAL</p>	 <p>City of Duvall Small Town. Real Life.</p>	<p>Planning Department 15535 Main St. NE PO Box 1300 Duvall, WA 98019 (425) 788-2779 www.duvallwa.gov</p>
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Master Permit Application Checklist

FOR STAFF USE ONLY

File No.: _____ **Received By:** _____ **Date Received:** _____

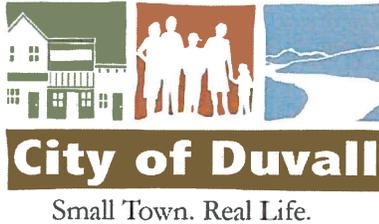
The following is a list of materials which are required for a complete application. For some permits, it will not be necessary to submit all the listed materials. Consult with the Planning Department if you have any questions.

	Applicant	City	NA	The Director will determine which items are not applicable (NA) at or prior to the pre-application meeting.
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1. Application fee / deposit
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2. Master Permit Application completed and notarized (including applicant/owner address/phone and fax/signatures)
✓	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Tree Retention Plan (See DMC 14.40.040 for detailed requirements) <i>replacement</i>
✓	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	4. Combined city / SEPA checklist <i>or 1 removed</i>
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5. Certificate of title (dated within last 3 months)
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6. Seven ³ full size copies of plans and one reduced set of plans (11" x 17") (Minimum scale of site plans one inch equals forty feet 1"=40')
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7. Electronic copy of site plans
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8. Draft covenants, restrictions, and easements
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9. Written description of the proposed project or action, including any development regulation modification requests and justification.
✓	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	10. Vicinity map identifying the project site, adjacent streets, and property lines of adjacent properties. Include an 8 ½ X 11 vicinity map showing the project area in relation to the greater Duvall area. The vicinity map should be a minimum scale of three inches equals one mile.
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11. Legal description of subject property and existing lots, tracts, or parcels and easements therein.
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12. Existing site conditions identifying the location, topography, character (lots, tracts, or parcels and easements), improvements, sensitive areas, and existing vegetation (survey).
✓	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	13. Photographs of existing conditions
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	14. Soil and geotechnical studies identifying the characteristics and capabilities of site soils and landform features.
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Proposed grading plan identifying roads, streets, building pads, drainage, retaining walls, and other major changes in the topographic grade.

✓	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	16. Site plan indicating the location of any existing and proposed buildings, streets, parking areas, or other impervious surfaces, section lines, power lines, culverts, utilities, water courses, setbacks, coverage and other dimensional requirements of Title 14 for the proposed project and within a distance of one hundred feet from its boundaries.
✓	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	17. Proposed building plans illustrating the size, placement, elevation, architectural detail and character of any existing proposed structure improvements. Refer to DMC 14.34 Design Standards - General and DMC 14.36 Design Standards – Residential, for specific standards and requirements.
✓	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	18. Landscaping plan identifying the species, size, placement, irrigation, and other characteristics of all existing and proposed trees, plantings, fences, rockeries, and other site improvements. Show existing and proposed utilities on landscape plan. See DMC 14.38, Landscaping standards, for specific requirements.
✓	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	19. Access plan identifying the right-of-way, pavement, construction material, traffic channelization, and other characteristic of all existing and proposed public and private streets, alleys, parking areas, trails, sidewalks, and other circulation systems (vehicular and pedestrian) with streets and trails
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	20. Utilities plan identifying the right-of-way or easement, size or capacity of all existing and proposed sewer, water, stormwater, power, telecommunications, and other public or private system. Show horizontal and vertical alignment of major city owned utilities.
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	21. Flood proofing certification. See DMC 14.84, Floodplain Regulations.
✓	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	22. Engineering or working drawings in accordance with the Public Works Development Design Standards that detail: <ul style="list-style-type: none"> a. Street, curb, and gutter, parking area, sidewalk, trail, and other transportation system improvements. b. Sewer, water, and stormwater improvement locations, size, material type, grades, manholes, valves, individual stub lines, hydrants, retention/detention ponds/vaults, and other public and private utilities. c. Building floor plans, sections, and elevations defining grading, foundation, structural, electrical, mechanical, landscape, materials, finish, and other features as required by Title 14.
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	23. As-built drawings in accordance with Public Works Development Design Standards.
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	24. Survey and monument placement in accordance with Public Works Development Design Standards
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	25. Final plat and certification in accordance with Public Works Development Design Standards.
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	26. Impact fee calculation with studies if applicant is proposing and independent fee calculation. <i>memo</i>
✓	<input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	27. Zoning of subject and contiguous parcels
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	28. Denomination of divisions or phases
	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	29. Detailed plat and certification by registered land surveyor
	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	30. Traffic Impact Analysis (TIA) (Contact Engineering Dept. for details).

→ *memo move students*

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CITY OF DUVALL



Planning Department
15535 Main St. NE
PO Box 1300
Duvall, WA 98019
(425) 788-2779
www.duvallwa.gov

Site Plan Review Permit Application

This form must be completed (clearly printed or typed) and submitted to the City to file an application, along with the Master Permit Application. Additionally, the applicant shall provide all information as required by the attached checklist, as well as all fees as determined by the Planning Director (see attached Fee Schedule). For questions, please contact the Planning Department at (425) 788-2779.

FOR STAFF USE ONLY

File No.:	Received By:	Date Received:
Applicant Name: Steve Busig		Phone # (425)828-8948
Signature: 		
Project / Development Name: Portable Classroom Building for Cherry Valley Elementary School		
Street Address / Location of Site: 26701 NE Cherry Valley Rd, Duvall WA 98019		
Assessor / Tax Parcel Number(s): 132606-9028		
Zoning: PF	Comprehensive Plan Designation:	
A. <u>Justification</u> An applicant shall demonstrate that the site plan review application meets all criteria as defined in DMC 14.62.030, as well as provide the following information:		
1. Provide a written description of the project.		
2. Provide written documentation that the project is consistent with the Comprehensive Plan and Unified Development Regulations.		
3. Discussion of how the proposed project is consistent with the City's development regulations in consideration of: a. The type of land use of the proposed project; b. The level of development, such as units per acres or other measures of density; c. Availability of infrastructure, including public facilities and services needed to serve the development; and d. The character of development, including compliance with DMC 14.34, Design Guidelines and all other provisions of this Title.		
A. A Site Plan Checklist has been included in the application packet. It included all items that are required at time of submittal.		
B. Any other information deemed pertinent by the DRC, Planning Commission or City Council or required to be submitted with the site plan under other provisions of the Duvall Municipal Code.		



Building Bridges to the Future

15510 1st Avenue NE, PO Box 519, Duvall, WA 98019 • 425.844.4500 (P) 425.844.4502 (F)

www.riverview.wednet.edu

June 7, 2018

Lara Thomas
Planning Director
City of Duvall
PO Box 1300
Duvall WA 98019

Lara.thomas@duvallwa.gov

(425) 788-2779 Ext 2

Dear Lara,

As part of the McCleary decision, the State of Washington House of Representatives and Senate adopted Engrossed House Bill 2242 in efforts to fully fund public education. Section 402 (4)(a)(i) of the house bill states that K-3 average class sizes must change from the current 25.23:1 student to teacher ratio to a new 17:1 ratio. In order to comply, the Riverview School District has analyzed their actual ratios and has determined there is a deficit in availability of classrooms. The addition of the portable at Cherry Valley Elementary is the districts attempt to be in compliance with new state statute. The addition of this portable to Cherry Valley Elementary is not due to a significant increase in enrollment. If you have any additional questions or require additional information, please feel free to contact me.

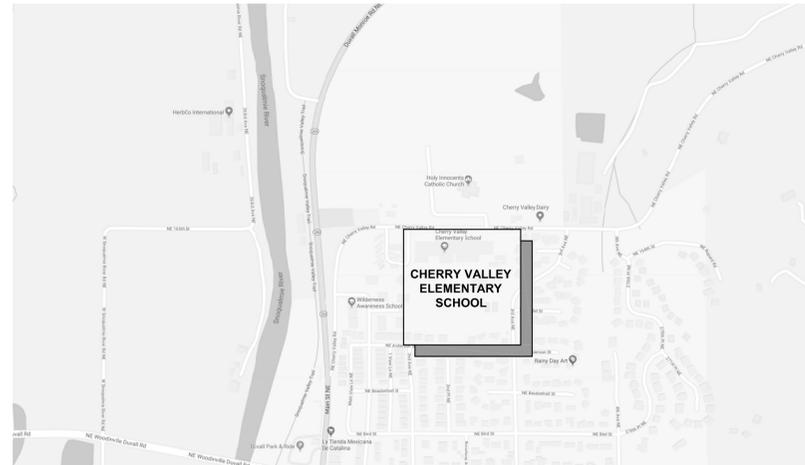
Kind Regards,

Ruby Perez
Director of Business and Operations

perezr@rsd407.org

(425) 295-4725

CHERRY VALLEY ELEMENTARY - PORTABLE INSTALLATION PROJECT - 2018



1 VICINITY MAP

SCALE: 1" = NTS



PROJECT DATA:

ADDRESS: CHERRY VALLEY ELEMENTARY SCHOOL
26701 NE CHERRY VALLEY RD, DUVALL, WA 98019

PARCEL NO: 132606-9028

LEGAL DESCRIPTION:

BEG AT NE COR GL 1 NW 13-26-6 TH S00-32-46E ALG N-S CL SD SEC 30 FT TO SLY MGN NE CHERRY VALLEY RD & TPOB TH ALG SD SLY MGN N 89-33-23 W 687.11 FT TH S 00-32-46 E 1342.27 FT TO S LN SD GL 1 TH S 89-01-29 E ALG SD S LN 8 FT TH N 00-32-46 W 675.86 FT TO S LN OF N 696.38 FT SD GL 1 TH S 89-33-23 E ALG SD LN 679.11 FT TO N-S CL SD SEC TH N 00-32-46 W ALG SD CL 666.48 FT TO SLY MGN OF NE CHERRY VALLEY RD & TPOB LESS POR CONV TO CITY OF DUVALL PER REC #20060523001892 & #20100517000025

SITE SIZE: 10.34 ACRES

EXISTING BUILDING AREA (FULLY SPRINKLERED BUILDING):

FIRST FLOOR INTERIOR	50,749 SF
BUILDING AREA ROOF OVERHANG	8,899 SF
GARDEN SHED	480 SF
DAYCARE W/ ROOF	2,651 SF
COVERED PLAY	4,956 SF
TOTAL	67,535 SF

PORTABLES AREA

EXISTING PORTABLES:	2 @ 1,773 SF = 3,546 SF
NEW PORTABLES	1 @ 1,773 SF = 1,773 SF
TOTAL	5,319 SF

PROJECT DESCRIPTION

INSTALLATION OF A (2) CLASSROOM PORTABLE BUILDING ONTO EXISTING ASPHALT PARKING LOT.

CODE REVIEW:

- DRAWINGS AND STRUCTURAL CALCULATIONS FOR EXTERIOR STAIR RAMP AND LANDING HAVE BEEN INCLUDED TO SHOW COMPLIANCE WITH SEISMIC (D) AND WIND (120 MPH EXPOSURE) REQUIREMENTS.
- PORTABLE BUILDING FOUNDATION DRAWINGS AND STRUCTURAL CALCULATIONS HAVE BEEN INCLUDED TO SHOW COMPLIANCE WITH SEISMIC (D) AND WIND (120 MPH EXPOSURE) REQUIREMENTS.
- ACCESSIBLE ROUTE OF TRAVEL FROM THE PORTABLE BUILDING TO THE PUBLIC WAY COMPLIES WITH IBC AND ACCESSIBILITY STANDARDS.
- ILLUMINATION OF THE EXTERIOR MEANS OF EGRESS WILL BE ACHIEVED BY BATTERY BACK UP ON EXTERIOR LIGHTS OF THE PORTABLE.
- PER IBC CHAPTER 29 - DISTANCE TO RESTROOM FACILITIES MAY NOT EXCEED 500 LF. DISTANCE FROM BACK CORNER OF FURTHEST CLASSROOM TO RESTROOM IS LESS THAN 500 LF AND THEREFORE COMPLIES.
- MINIMUM CRAWLSPACE VENTILATION PER IBC STANDARDS IS TO BE PROVIDED.
- PLUMBING FIXTURE REQUIREMENTS: OCCUPANT LOAD BASED ON ACTUAL ANTICIPATED NUMBER OF OCCUPANTS PER WASHINGTON STATE BUILDING CODE COUNCIL INTERPRETATION No. 13-13.

DESIGN CAPACITY: 508 STUDENTS; 30 STAFF

MAXIMUM STUDENT CAPACITY:
NUMBER OF EXISTING CLASSROOMS: 24 + 2 DAYCARE CLASSROOMS
NUMBER OF EXISTING PORTABLE CLASSROOMS: 4
NUMBER ADDED PORTABLE CLASSROOMS: 2
24 + 2 + 6 + 2 = 34 TOTAL CLASSROOMS * 27 STUDENTS/CLASSROOM = 918 MAXIMUM STUDENT CAPACITY

STAFF CAPACITY: 40

ASSUME 50% MALE (459) & 50% FEMALE (459)

PLUMBING FIXTURE COUNT

	WATER CLOSETS		URINALS	LAVATORIES	
	MALE (1:50)	FEMALE (1:30)		MALE (1:100)	FEMALE (1:60)
CODE MINIMUM	10	16		5	8
EXISTING	7	17	6	7	8
	OK	OK	OK	OK	OK

DEVELOPMENT / PLANNING NOTES:

- ZONING: PF (PUBLIC FACILITIES) (KING COUNTY)
- OCCUPANCY - E (EDUCATION)
- REQUIRED SETBACKS - PER DMC 14.32.050, 20 FT SETBACK FROM ALL ADJACENT RESIDENTIAL = OK
- BUILDING AND IMPERVIOUS SURFACE COVERAGE= PER DMC 14.32.050: 80% MAX. EXISTING COVERAGE = OK
- BUILDING HEIGHT: 14 FT < 45 FT MAX = OK
- PARKING:

	PARKING REQUIREMENTS	ORIGINAL PARKING REQUIRED
ELEMENTARY SCHOOL	1 PER CLASSROOM + 1 PER 50 STUDENTS	42
DAYCARE	2 PER FACILITY + 1 PER 20 STUDENTS	5
DISTRICT SUPPORT OFFICE*	1 PER 300 SQUARE FEET (1,000 SF)	6
TENNIS COURTS	2 PER FACILITY + 1 PER 20 STUDENTS	8

*DISTRICT SUPPORT OFFICE HAS BEEN MOVED TO DISTRICT EDUCATIONAL SERVICES CENTER - NO STALLS CURRENTLY NEEDED

CURRENT PARKING NEEDS:

TOTAL # OF CLASSROOMS INCLUDING LIBRARY, COMPUTER, MUSIC & PORTABLE CLASSROOMS = 35 STALLS
TOTAL # OF STUDENTS (2016-2017 ATTENDANCE) = 515 STUDENTS / 50 = 11 STALLS
DAY CARE FACILITY = 2 STALLS
MAX # OF CHILDREN HOUSED IN DAYCARE = 50 STUDENT / 20 = 3 STALLS
2 TENNIS COURTS x 4 STALLS PER COURT = 8 STALLS
TOTAL MINIMUM REQUIRED STALLS: = 59 STALLS
MAXIMUM REQUIRED STALLS (1.5x MINIMUM) = 89 STALLS
ACTUAL NUMBER OF PROPOSED STALLS = 80 STALLS

PLEASE REFER TO ENCLOSED MEMOS REGARDING SCHOOL PARKING NEEDS, AND THE REDISTRIBUTION OF STUDENT POPULATION FOR FURTHER CLARIFICATION.

- TREE RETENTION & PROTECTION: PER DMC 14.40.020.D NO SIGNIFICANT TREES WILL BE AFFECTED DUE TO THIS PROJECT. THE EXISTING FOUR TREES THAT ARE TO BE REMOVED DUE TO NEW WORK, WILL BE REPLACED AT A 2:1 RATIO PER ADMINISTRATIVE DECISION.
- CRITICAL AREAS: PROJECT IS NOT LOCATED WITHIN A CRITICAL AREA
- SEPA: ACCORDING TO DMC 14.60.120 AND THE ADOPTED WAC 197-11-800, SUBSECTION B PROJECT IS < 4,000 SF AND <500 CY CUT & FILL THEREFORE PROJECT IS SEPA EXEMPT
- TRANSPORTATION IMPACT FEE: TBD
- SURFACE WATER MANAGEMENT (TOTAL IMPERVIOUS ADDED < 2000 SF)

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH 2015 IBC.
- CONTRACTOR MUST BE LICENSED IN THE STATE OF WASHINGTON.
- THIS IS NOT A SURVEY. THESE DRAWINGS WERE PREPARED USING FIELD NOTES AND THIRD PARTY INFORMATION. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND COORDINATE WITH REQUIRED WORK.
- CONTRACTOR SHALL LOCATE, PRESERVE, AND PROTECT ALL UTILITIES TO REMAIN.
- CONTRACTOR SHALL COORDINATE SCHEDULE WITH PORTABLE MANUFACTURER TO ENSURE BUILDING PAD IS READY AND THAT CONSTRUCTION ACTIVITIES DO NOT OBSTRUCT THEIR DELIVERY AND PLACEMENT.
- CONTRACTOR SHALL PROVIDE A COMPLETE AND PROPER EXECUTION OF THE WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTING INFORMATION OR OMISSIONS.
- CONTRACTOR SHALL PROVIDE TEMPORARY STEEL PLATE OVER ENTIRE EXTENTS OF TRENCH WORK SPANNING EXISTING FIRE LANE OR TRAFFIC PATH.
- ALL POWER AND LOW VOLTAGE SYSTEM CONNECTIONS TO NEW PORTABLE CLASSROOM BUILDINGS SHOWN WILL BE ROUTED UNDERGROUND, AERIAL DISTRIBUTION WILL NOT BE ALLOWED.

INSTALLATION NOTES:

- CONTRACTOR SHALL COORDINATE DELIVERY PATH AND WIDTH REQUIRED WITH PORTABLE MANUFACTURER AND ENSURE PATH IS CLEAR UPON DELIVERY. IF PATHWAY REQUIRES REMOVAL OF AN ITEM THAT THE CONTRACTOR CANNOT REPLACE TO EXISTING CONDITION AFTER PORTABLE IS PLACED, CONTACT OWNER FOR DIRECTION.

RAMP & STAIR SYSTEM:

- ALUMINUM MODULAR RAMP AND STAIR SYSTEM BY WELCOME RAMP SYSTEMS, INC. OR APPROVED EQUAL
- TYPICAL COMPONENT SIZES:
 - LANDINGS - 5' X 5'; CAN BE BOLTED TOGETHER FOR LARGER PLATFORMS
 - RAMP - 4', 8' OR 10' LONG X 48" WIDE; CAN BE BOLTED TOGETHER TO FORM A MAXIMUM 30' RAMP RUN. MAX RISE = 1:12 (VERT./ HORIZ.)
 - STAIRS - MAX. 7" RISER X 12" TREAD X 48" WIDE
- 2015 IBC COMPLIANT (ANSI A117.1 - 2009)
- DESIGN LOADING:
 - DECK/ RAMP 100 PSF
 - STAIR TREAD 300 LBS/ TREAD
 - RAILING 50 PLF/ 200 LBS CONC.
- DOOR CLEARANCE PER IBC
- STANDARD 3 LINE RAIL FOR COMPONENTS 30" OR LESS FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- 42" VERTICAL PICKET GUARDRAIL FOR COMPONENTS OVER 30" FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- GRASPABLE CONTINUOUS HANDRAIL AT 34" TO 38" OFF RAMP, PLATFORM, OR STAIR NOSING.
- HANDRAILS TO EXTEND 12" HORIZONTALLY OVER WALKING SURFACE AND RETURN TO WALL OR RAIL COLUMN.
- RAMP AND RAILINGS TO HAVE CURBS WHICH DO NOT ALLOW PASSAGE OF 4" SPHERE WHERE ORIGINAL POSITION OF SPHERE IS WITHIN 4" OF THE WALKING SURFACE.
- FOOTING INFORMATION:
 - 2" X 12" X 12" P.T. WOOD PAD REQUIRED UNDER ALL ADJUSTABLE LEGS EXCEPT AT THE "U" IN THE SWITCHBACK CONFIGURATION WHERE A 4" X 16" X 16" CONCRETE PAD -OR- 16" X 16" POLYVULC. PVC PAD IS REQUIRED (SEE CONFIGURATION "F").

SHEET INDEX

GENERAL
G0.00 COVER SHEET, PROJECT DATA & GENERAL NOTES

CIVIL
C1.01 CIVIL ENLARGED SITE PLANS

ARCHITECTURAL
A1.00 SITE PLAN
A1.01 ENLARGED DEMO PLAN & ENLARGED SITE PLAN
A2.00 ENLARGED LANDSCAPE PLAN
A3.00 EXISTING SITE CONDITIONS

MODULAR BUILDING
A-0 COVER PAGE
A-1.0 FLOOR PLAN
A-2.0 BUILDING SECTION
A-3.0 STRUCTURAL DETAILS
A-4.0 EXTERIOR ELEVATIONS
A-5.0 INTERIOR ELEVATIONS
A-6.0 REFLECTED CEILING PLAN
E-1.0 ELECTRICAL PLAN
M-1.0 MECHANICAL PLAN
F-1 FOUNDATION PLAN, DETAILS & CALCULATIONS
SHEET 1 OF 1 CANOPY PLANS & ELEVATIONS

ACCESS RAMPS & STAIRS

SHEET 1 OF 1 STANDARD PLANS / DETAILS / NOTES



4010 LAKE WASHINGTON BLVD NE
SUITE 320
KIRKLAND, WA 98033

425.828.8948

HOARCH.COM

ARCHITECT STAMP



CONSULTANT STAMP

PROJECT INFORMATION

Cherry Valley Elementary - Portable Installation Project - 2018

26701 NE Cherry Valley Rd
Duvall, WA 98019

RIVERVIEW SCHOOL DISTRICT

SCHOOL DISTRICT LOGO



5.16.2018 PRE-APPLICATION MEETING SUBMITTAL

6.13.18 LAND USE PERMIT SET

LAND USE PERMIT SET

6.12.2018

PROJECT NUMBER: 1803

SHEET NAME

Cover Sheet, Project Data & General Notes

SHEET NUMBER

GO.00

PROJECT DIRECTORY

OWNER

RIVERVIEW SCHOOL DISTRICT NO. 407
DISTRICT EDUCATIONAL SERVICE CENTER
15510 1ST AVENUE NE
PO BOX 519
DUVALL, WA 98019
425.844.4505
RUBY PEREZ (perezr@rsd407.org)

ARCHITECT

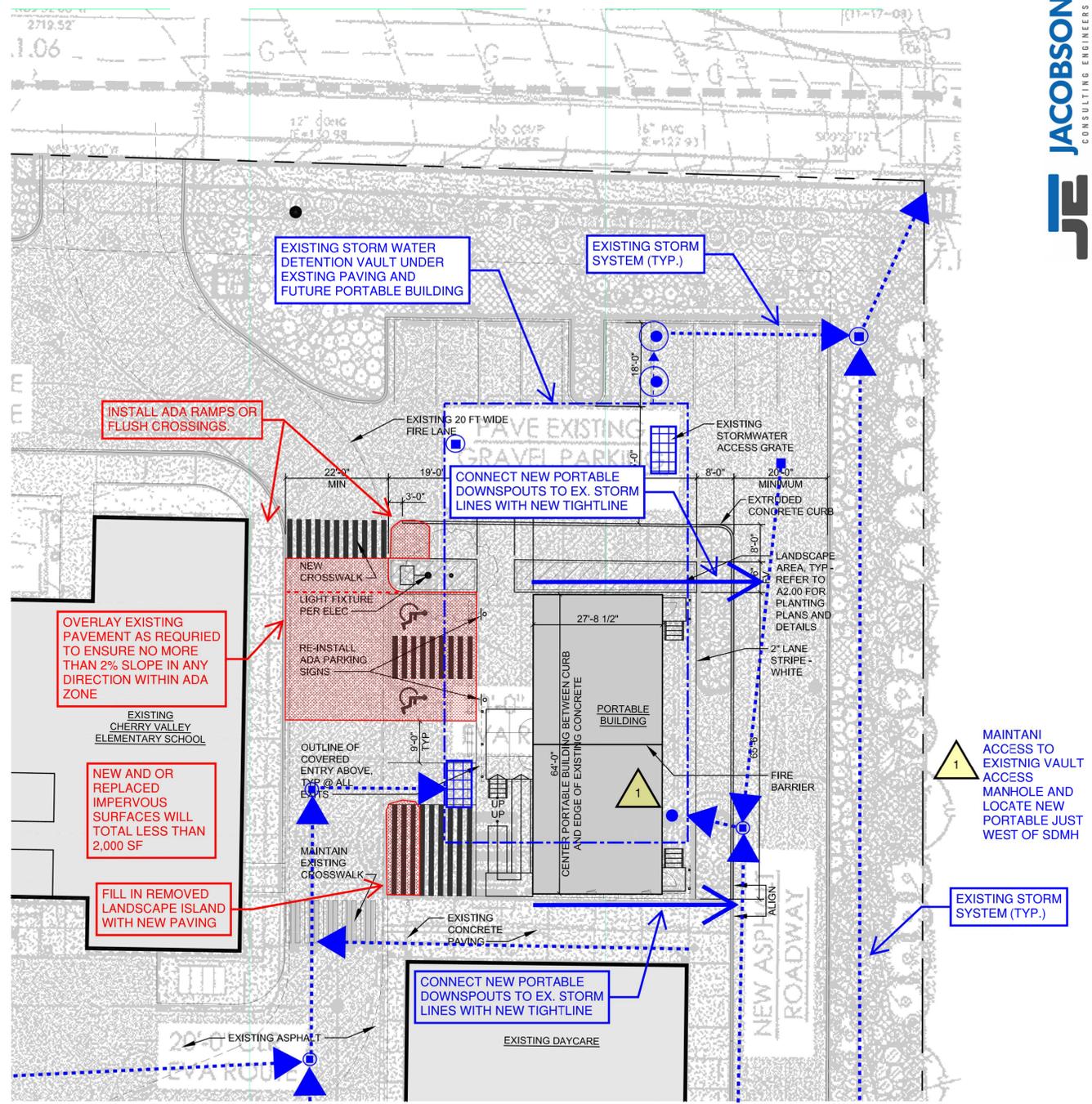
HUTTEBALL + OREMUS ARCHITECTURE
4010 LAKE WASHINGTON BLVD NE, SUITE 320
KIRKLAND, WA 98033
425.828.8948
STEVE BUSIG (sbusig@hoarch.com)
KATIE POND (kpond@hoarch.com)

ELECTRICAL ENGINEER

HARGIS
600 STEWART STREET, SUITE 1000
SEATTLE, WA 98101
206.436.0457
BRENDON INMAN (brendon.inman@hargis.biz)

CIVIL ENGINEER

JACOBSON CONSULTING ENGINEERS
600 1ST AVENUE #442
SEATTLE, WA 98104
206.399.6233
ALAN JACOBSON (alan@jacobsonengineers.com)



1 ENLARGED SITE PLAN
SCALE: 1/16" = 1'-0"



Cherry Valley Elementary - Portable Installation Project - 2018

26701 NE Cherry Valley Rd
Duvall, WA 98019

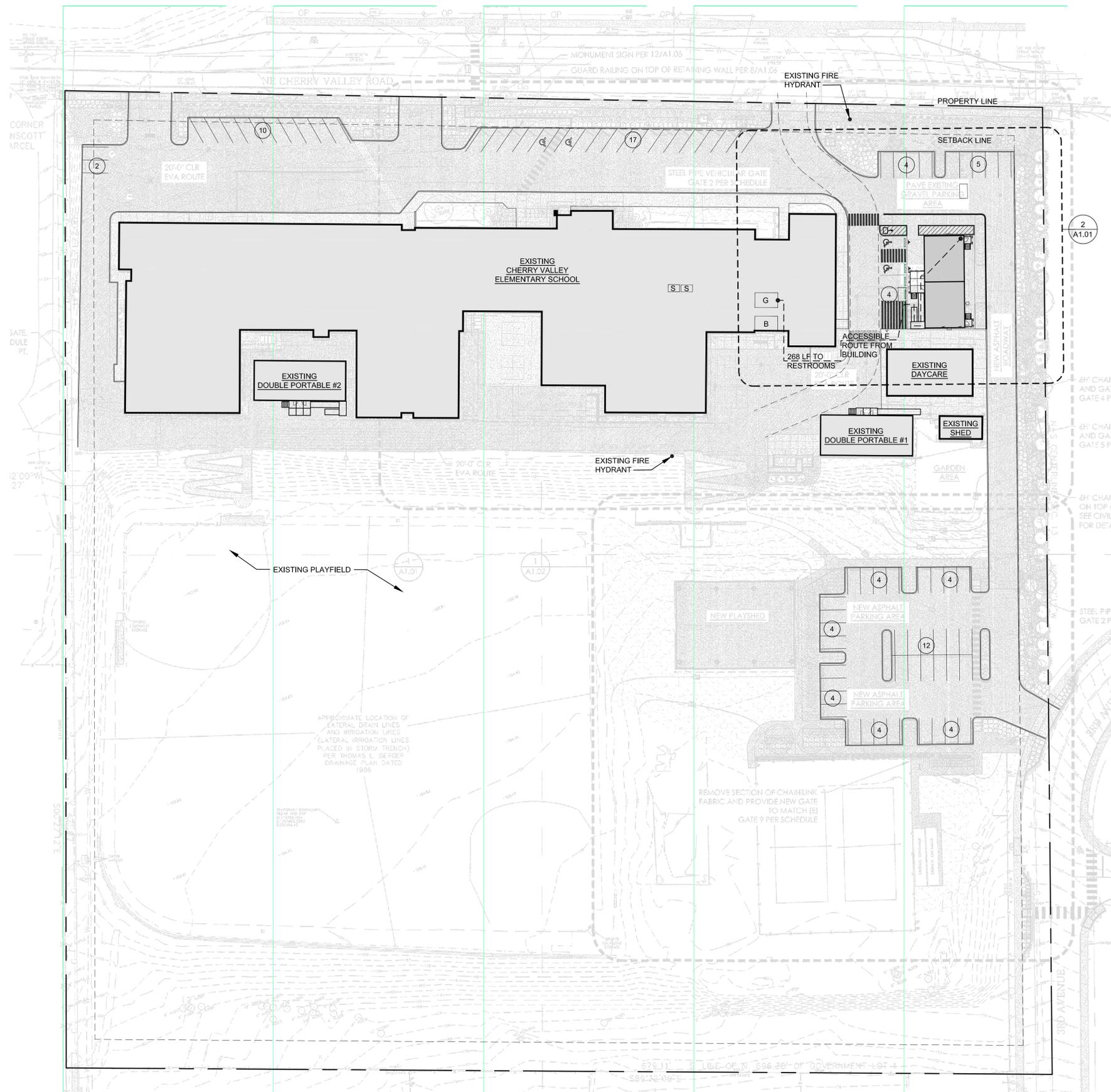
RIVERVIEW SCHOOL DISTRICT



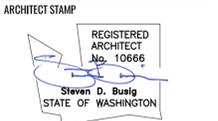
LAND USE PERMIT SET

6.12.2018
PROJECT NUMBER: 1803

Civil Enlarged Site Plans



1 SITE PLAN
SCALE: 1" = 40'-0"



CONSULTANT STAMP

PROJECT INFORMATION

Cherry Valley Elementary - Portable Installation Project - 2018

26701 NE Cherry Valley Rd
Duvall, WA 98019

RIVERVIEW SCHOOL DISTRICT



5.16.2018 PRE-APPLICATION MEETING SUBMITTAL

6.13.18 LAND USE PERMIT SET

LAND USE PERMIT SET

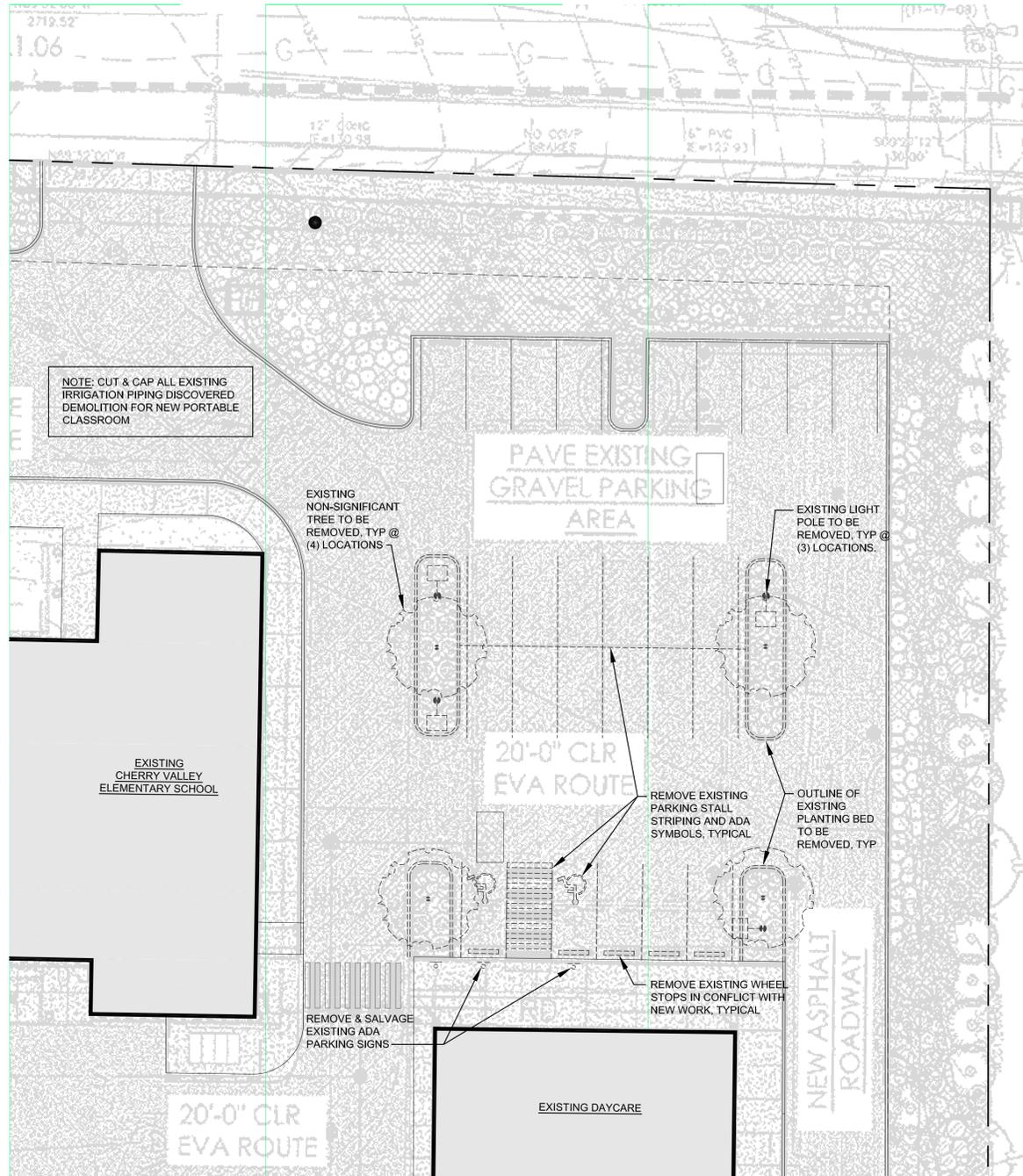
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PROJECT NUMBER: 1803

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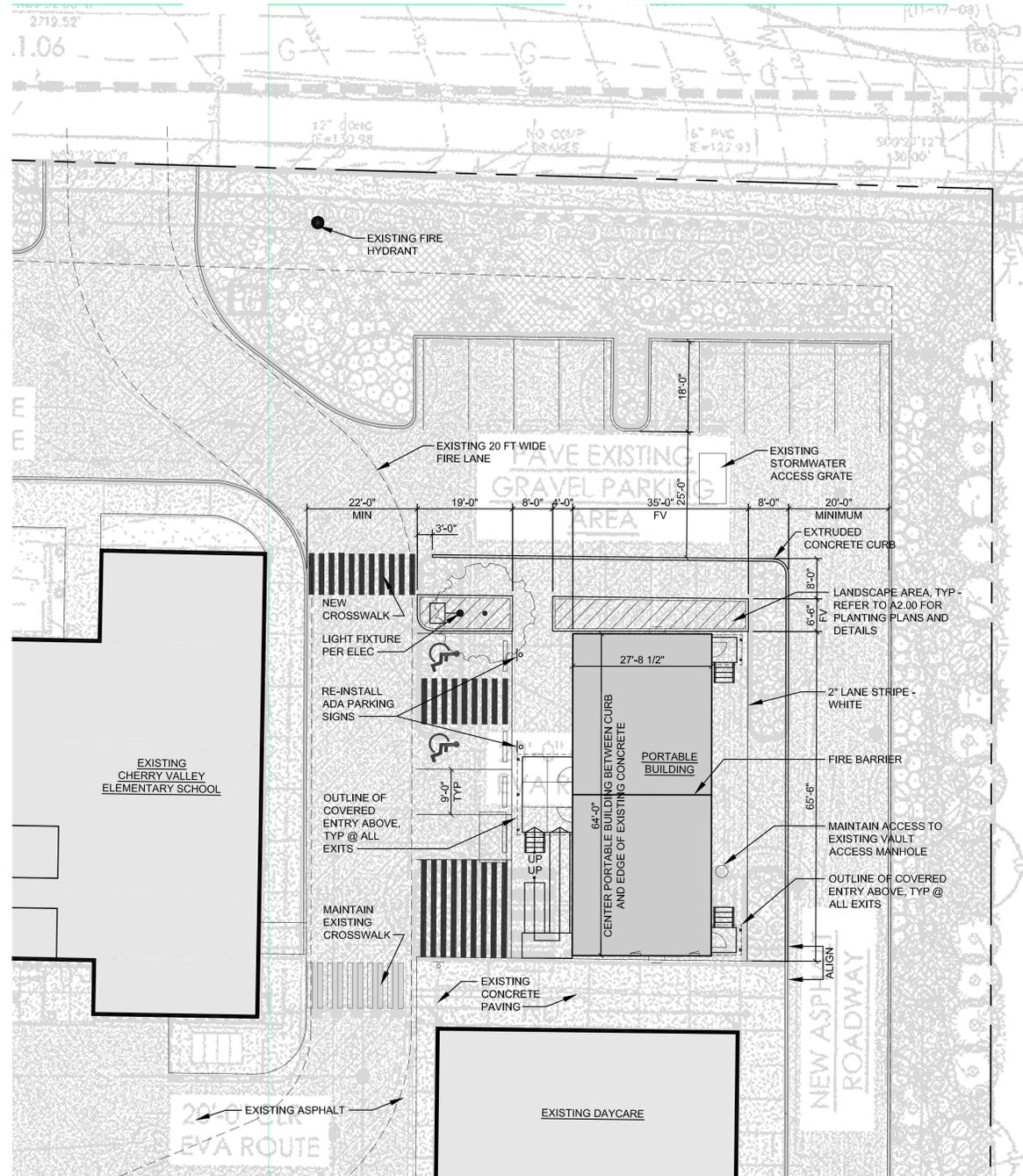
Site Plan

SHEET NUMBER

A1.00



1 ENLARGED DEMO PLAN
SCALE: 1/16" = 1'-0"



2 ENLARGED SITE PLAN
SCALE: 1/16" = 1'-0"



CONSULTANT STAMP

PROJECT INFORMATION

**Cherry Valley
Elementary -
Portable
Installation
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26701 NE Cherry Valley Rd
Duvall, WA 98019

RIVERVIEW
SCHOOL DISTRICT



5.16.2018 PRE-APPLICATION MEETING SUBMITTAL

6.13.18 LAND USE PERMIT SET

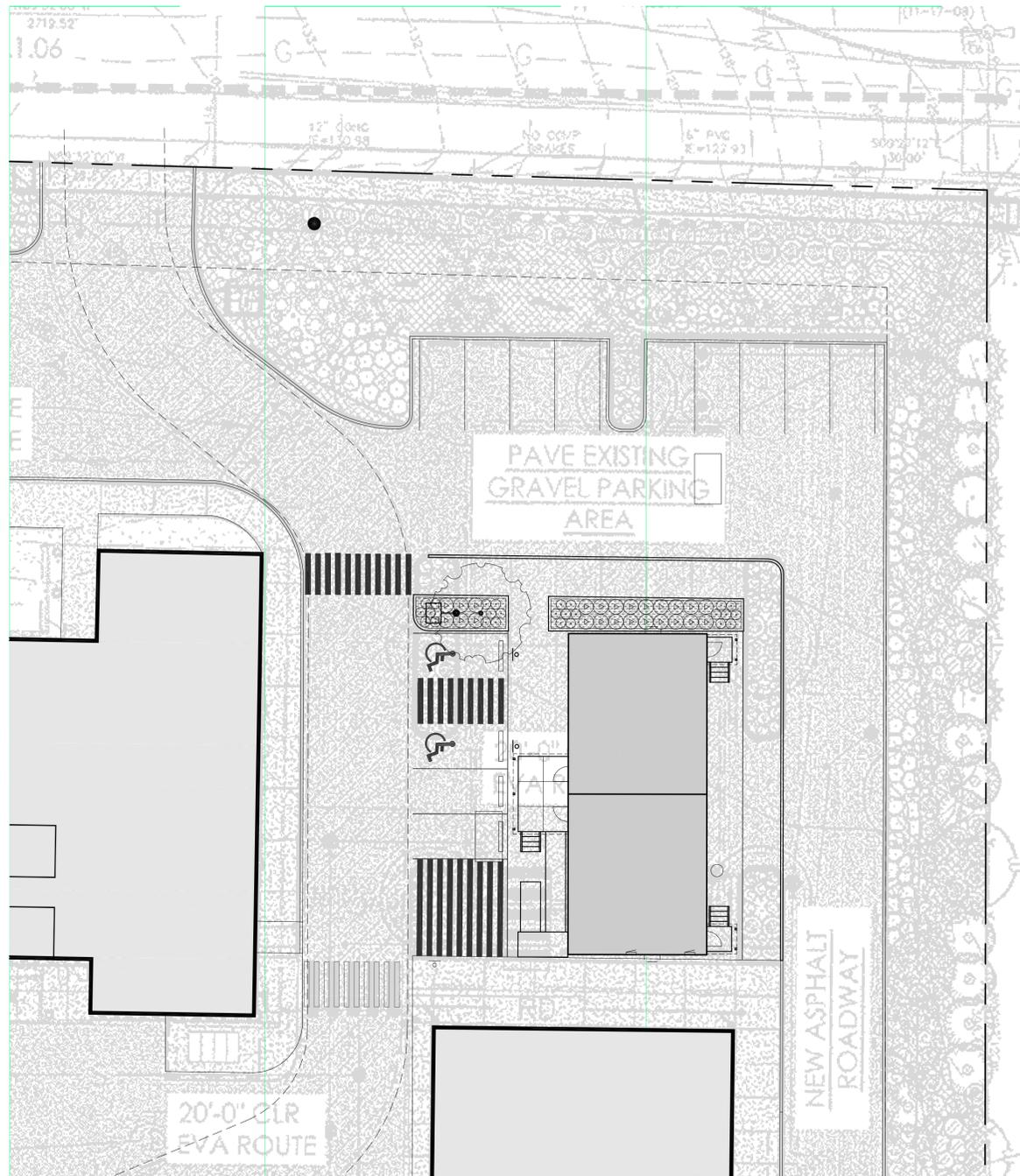
**LAND USE
PERMIT SET**

6.12.2018
PROJECT NUMBER: 1803

SHEET NAME

**Enlarged
Site Plans**

SHEET NUMBER



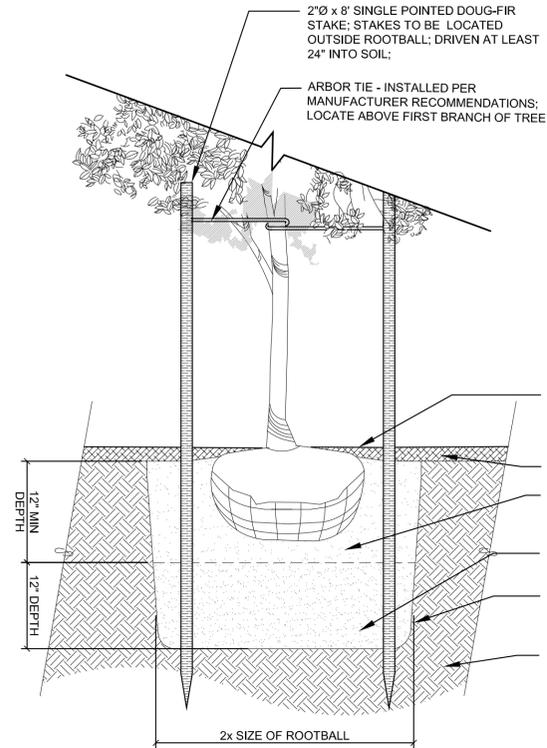
1 ENLARGED LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

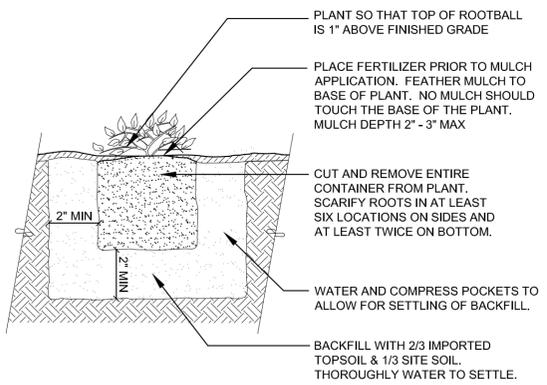
NOTE: (8) TREES WITH MINIMUM OF 2" CALIPER WILL BE PLANTED TO REPLACE THE (4) TREES THAT ARE TO BE REMOVED FOR PORTABLE INSTALLATION. LOCATION AND SPECIES TO BE VERIFIED WITH OWNER AND CITY PRIOR TO INSTALLATION.



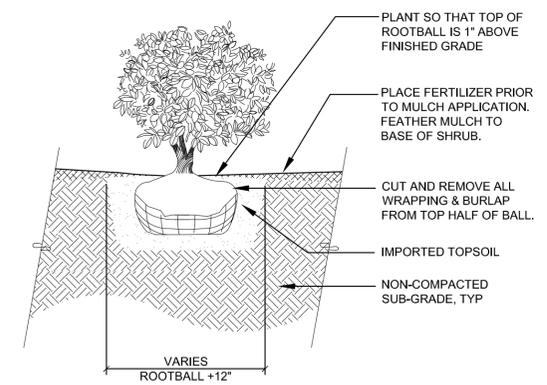
- NOTES:
1. TREE PIT SHALL NOT BE LESS THAT (2) TIMES ROOT BALL DIA.
 2. CUT ALL TIES & FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL.
 3. WATER DAILY UNTIL ESTABLISHED, FERTILIZE & USE GROWTH HORMONE.
 4. WHERE A CONTINUOUS PLANTING STRIP IS ALLOWED, WIDEN TREE PIT TO SIDEWALK.



A SECTION: DECIDUOUS TREE



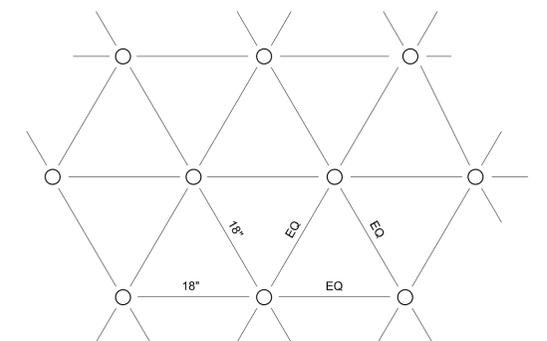
B SECTION: PEREN/GROUNDCOVER - 1 GAL



C SECTION: SMALL SHRUB

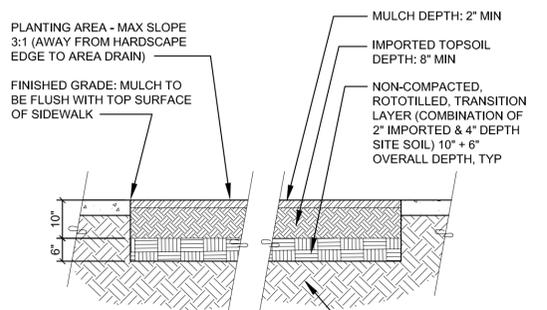
12 SITE DETAILS

SCALE: 3/4" = 1'-0"



19 PLAN: PLANT LAYOUT - TRI SPACE

SCALE: 3/4" = 1'-0"



20 SOIL PROFILE @ PLANTING BED

SCALE: 1/2" = 1'-0"

LANDSCAPE SCHEDULE

- ACER RUBRUM 'OCTOBER GLORY'
OCTOBER GLORY RED MAPLE
MIN 2" CALIPER, 12-14" HEIGHT MINIMUM. WELL-BRANCHED, B&B;
INSTALL PER DETAIL 12/A2.00
- PRUNUS LAUROCERASUS 'ZABELIANA'
ZABEL'S LAUREL
MIN 18"-24" HT AND SPREAD, FULL & BUSHY. 5 GAL CONT OR B&B;
INSTALL PER DETAIL 12/A2.00
- CORNUS STOLONIFERA 'KELSEY'
KELSEY DOGWOOD
MIN 15"-18" HT AND SPREAD, FULL & BUSHY. CONT OR B&B;
INSTALL PER DETAIL 12/A2.00
- FRAGARIA CHILOENSIS
BEACH STRAWBERRY
1 GAL POTS @ 18" OC TRIANGULAR SPACING PER DETAIL 19/A2.00. START FIRST ROW 10" FROM EDGE OF PLANTING AREA. PLANT THROUGHOUT BED.

PLANTING NOTES

1. ALL NEW SHRUB AND GROUNDCOVER AREAS ARE TO BE MULCHED WITH A MINIMUM OF 2" DEPTH OF SPECIFIED MULCH.
2. WHERE GROUNDCOVER IS INDICATED IT SHALL BE PLANTED AT THE SPECIFIED SPACING THROUGHOUT THE BED, INCLUDING AREAS UNDERNEATH TREES AND SHRUBS.
3. NO DISTURBANCE IS ALLOWED IN AREAS WHERE TREES ARE DESIGNATED TO REMAIN. NO GRADING, BURYING, OR TILLING ALLOWED IN CRITICAL ROOT ZONE.
4. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
5. REFER TO CIVIL SHEETS FOR IRRIGATION REQUIREMENTS.



Cherry Valley Elementary - Portable Installation Project - 2018

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RIVERVIEW SCHOOL DISTRICT



LAND USE PERMIT SET

6.12.2018

PROJECT NUMBER: 1803

Enlarged Landscape Plans



1 EXISTING SITE CONDITIONS



2 EXISTING SITE CONDITIONS



3 EXISTING SITE CONDITIONS



4 EXISTING SITE CONDITIONS



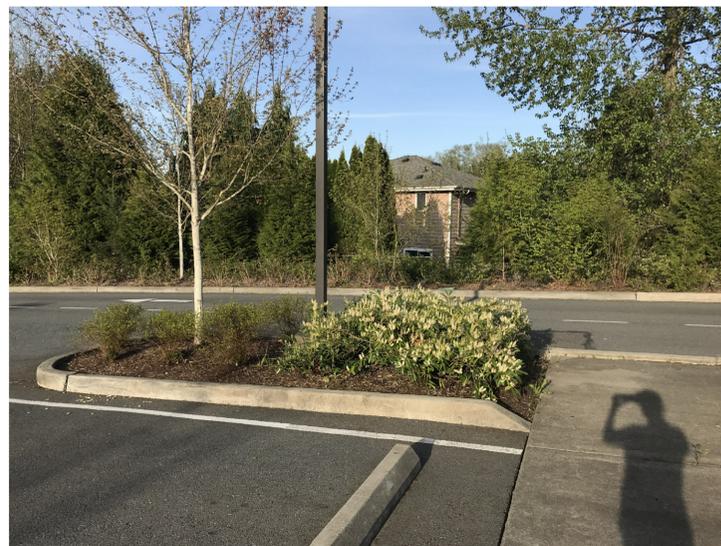
5 EXISTING SITE CONDITIONS



6 EXISTING SITE CONDITIONS



7 EXISTING SITE CONDITIONS



8 EXISTING SITE CONDITIONS



9 EXISTING SITE CONDITIONS



**Cherry Valley
Elementary -
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**RIVERVIEW
SCHOOL DISTRICT**

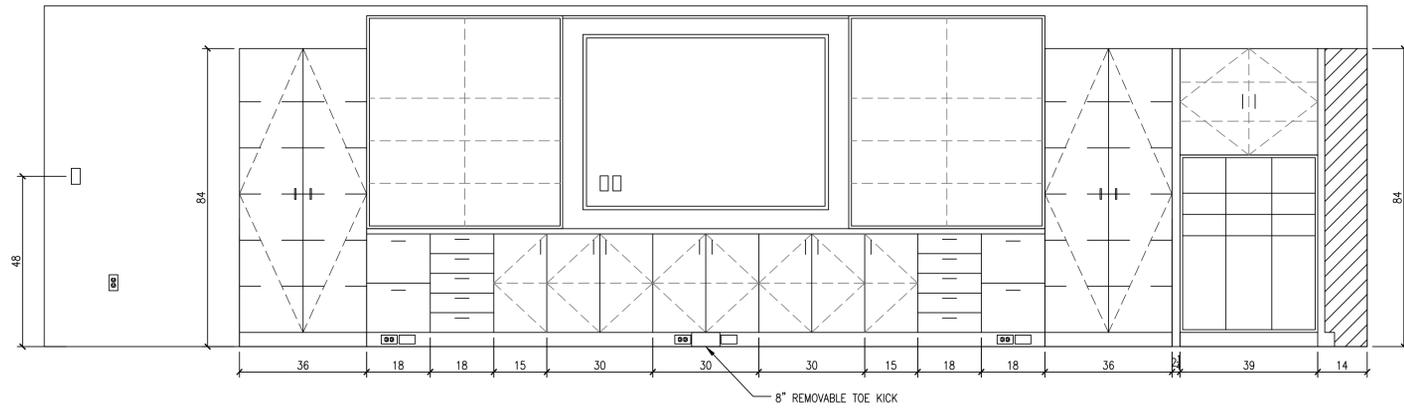


**LAND USE
PERMIT SET**

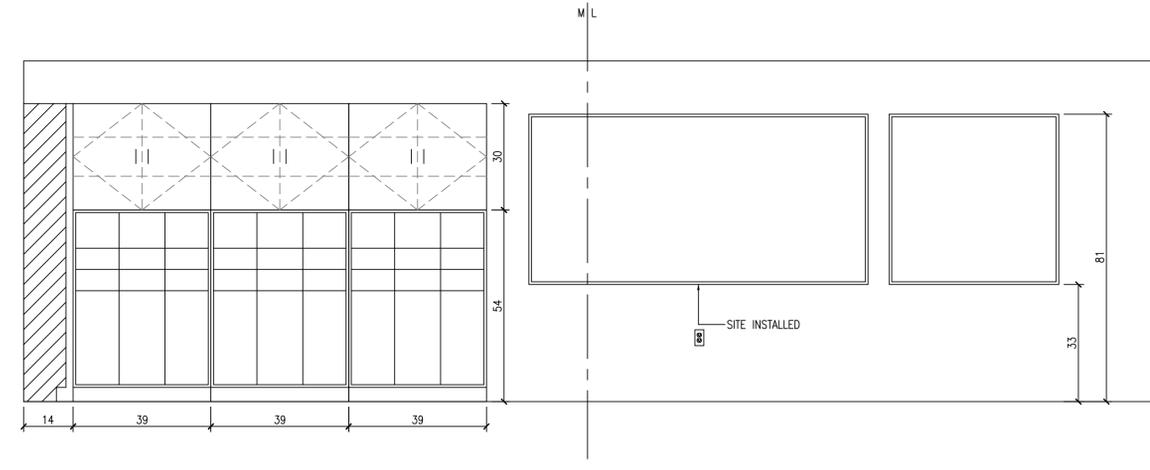
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PROJECT NUMBER: 1803

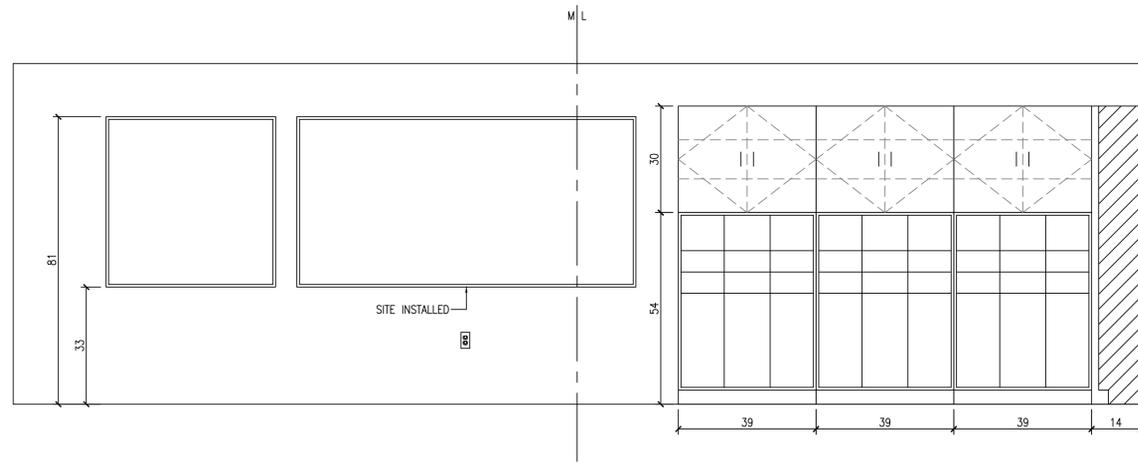
**Existing
Site Conditions**



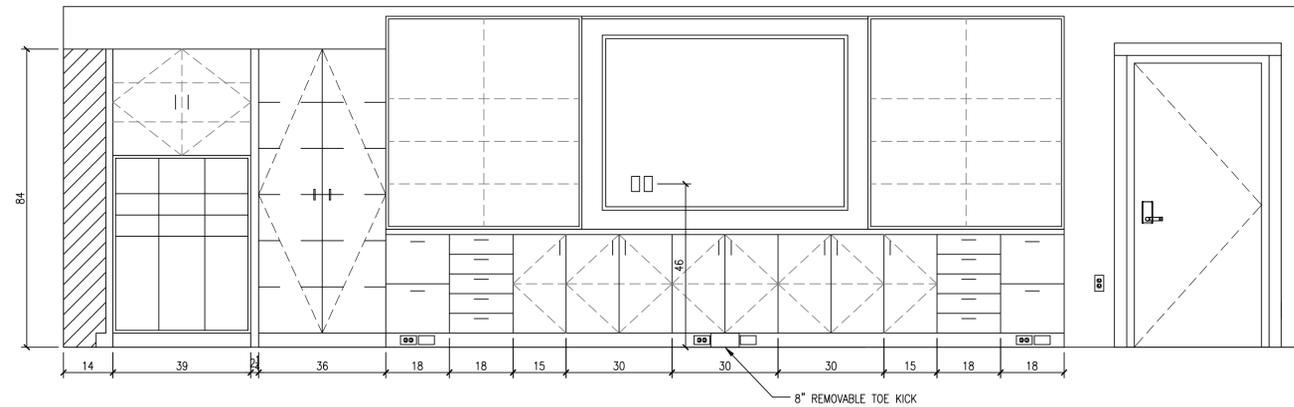
① 102 NORTH
1/2" = 1'-0"



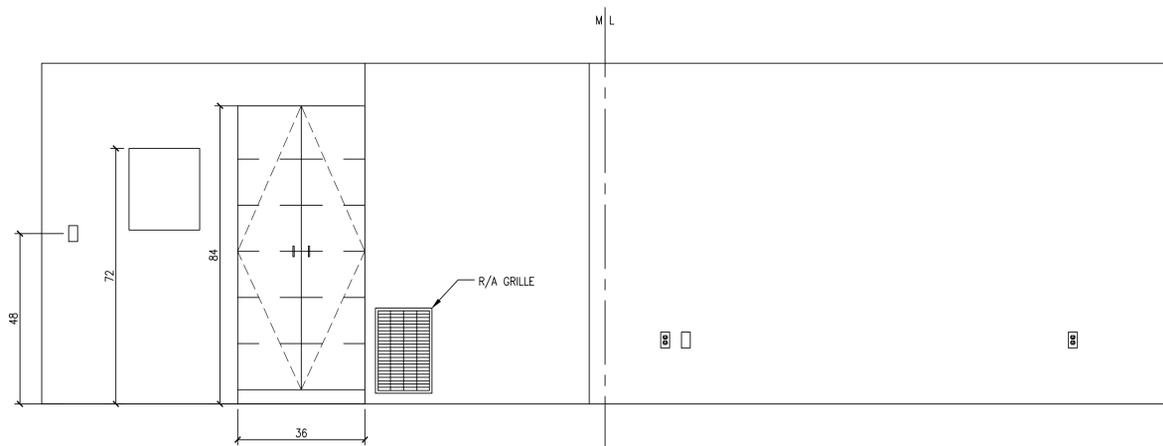
② 102 EAST
1/2" = 1'-0"



③ 101 WEST
1/2" = 1'-0"



④ 101 NORTH
1/2" = 1'-0"



⑤ 101 EAST
1/2" = 1'-0"

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WHITLEY EVERGREEN INC.
mobile and modular buildings
14219 SMOKEY POINT BLVD. MARYSVILLE, WA 98271
PHONE (360) 653-5750 FAX (360) 659-7735

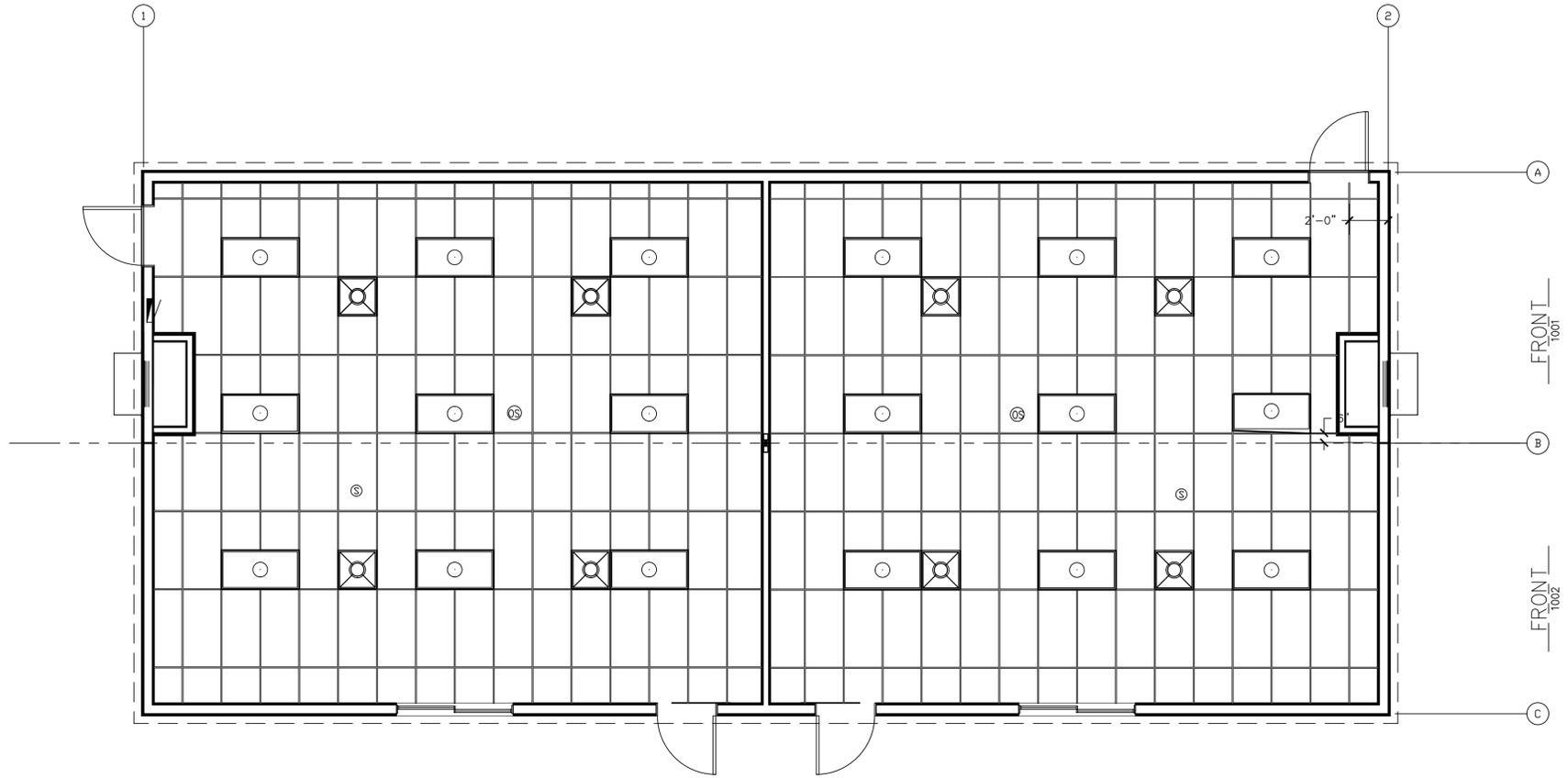
RIVERVIEW SD
JOB NAME: 28X64 CLASSROOM
DESCRIPTION: INTERIOR ELEV.
SHEET TITLE: INTERIOR ELEV.
SYN: 0318-168

RELEASE LEVEL: FINAL
DRAWN BY: MDP
REV. BY: MDP
CHK. BY: MDP

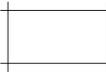
MARK	REVISION	DATE
A	MARK	
A	PERMIT	
A	CUSTOMER	
A	REVISION	

MARK	REVISION	DATE
A	MARK	
A	REVISION	
A	REVISION	
A	REVISION	

JOB NO: 4397
SHT. A-5.0
DATE: ---



REFLECTED CEILING PLAN LEGEND:

- 
 SUPPLY AIR DIFFUSER 24"X24" DUCTED. LAY IN STYLE
- 
 RECESSED (CEILING GRID) LED LIGHT W/ DIFFUSER
- 
 OCCUPANCY SENSOR, FOR CONTROLLED RECEPTACLES
- 
 SMOKE DETECTOR
- 
 2X4 SUSPENDED CEILING GRID WITH CORTEGA #769A ACOUSTIC TILES

JOB NO. 4397
 SHT. A-6.0
 DATE: ---

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mobile and modular buildings
 14219 SMOKEY POINT BLVD. MARYSVILLE, VA 28271
 PHONE: (800) 653-5750 FAX: (800) 653-7735

RIVERVIEW SD
 DESCRIPTION: 28X64 CLASSROOM
REFLECTED CEILING PLAN
 SHEET TITLE
 S/N: 0318-168 ST/P/PLAN NO: ---

RELEASE LEVEL: FINAL	###
DRAWN BY: ###	###
REV. BY: ###	###
CHK. BY: -	###

MARK	REVISION	DATE
A	PERMIT	---
A	CUSTOMER	---
A	REVISION	---

MARK	REVISION	DATE
A	MARK	---
A	REVISION	---
A	DATE	---

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	2"x4" LED TROFFERS - CREE ZR24-40L-35-CMA 120V 44VA WHITLEY TO SUPPLY (1) CREE CONFIGURING TOOL CCT-CWC-1
	HARRIS 300 SERIES FLUORESCENT 120V 26VA W/ INTEGRAL PHOTOCELL MOUNT @ 84" AFF
	HARRIS 300 SERIES FLUORESCENT 120V 26VA W/BATTERY BACKUP AND INTEGRAL PHOTO CELL MOUNT @ 84" AFF
	SMART SWITCH, CREE # CWS-CWC 120V, MOUNT AT 48" AFF (U.N.O)
	OCCUPANCY SENSOR: (FOR CONTROLLED RECEPTACLES) - CONTROL UNIT - WATTSTOPPER B2200 - SENSOR - SENSORSWITCH CM PDT 10
	EXITRONIX EXIT/EGRESS LIGHT W/BATTERY BACKUP 120V 10VA
	GENERAL PURPOSE SPLIT WIRED RECEPTACLE, 20AMP MFR STD. W/ COVER PLATE (MOUNT @ 18" AFF U.N.O.)
	GFCI, WEATHER RESISTANT RECEPTACLE, 20AMP, MFR STD. W/ WEATHER PROOF IN-USE COVER (MOUNT @ 18" AFF U.N.O.)
	HARDWIRED CONNECTION.
	120/208 VOLT SINGLE PHASE PANEL, MFR. STD. 200AMP, 20 SPACE NEMA-1 FLUSH MOUNT ENCLOSURE, SERVICE EQUIPMENT RATED, W/ MAIN BREAKER, STUB CONDUIT THRU WALL, SITE CONTRACTOR TO EXTEND CONDUIT TO MAIN PANEL AND PULL WIRE, PROVIDE 1/2" CONDUIT INTO FLOOR CAVITY FOR SITE INSTALLATION OF GROUND CONDUCTOR.
	DATA/COM ROUGH IN - DOUBLE GANG J-BOX W/ SINGLE GANG MUD RING, (INSTALL AT SAME HEIGHT AS ADJACENT RECEPTACLE UNLESS NOTED OTHERWISE) - WALL ROUGH IN - 3/4" CONDUIT TO ABOVE CEILING & BELOW FLOOR.
	8"x4" OPENING IN TOE KICK W/ BLANK COVER, PROVIDE 1 1/2" CONDUIT FOR SWEEP IN THE SYSTEMS FOR ACTIVE BOARD
	FIRE ALARM PULL STATION: ROUGH IN ONLY. WHITLEY TO PROVIDE BACK BOX AND 1/2" CONDUIT ONLY. SEE DETAIL BELOW ON THIS SHEET. MOUNT @ 48" AFF
	FIRE ALARM HORN STROBE: ROUGH IN ONLY. WHITLEY TO PROVIDE BACK BOX AND 1/2" CONDUIT ONLY. SEE DETAIL BELOW ON THIS SHEET. MOUNT @ 80" AFF
	FIRE ALARM EXTERIOR HORN STROBE: ROUGH IN ONLY. WHITLEY TO PROVIDE BACK BOX AND 1/2" CONDUIT ONLY. MOUNT @ 84" AFF
	FIRE ALARM SMOKE DETECTOR: ROUGH IN AND INSTALL ON SITE BY OTHERS, (REFERENCE ONLY)
	THERMOSTAT SEE MECHANICAL MOUNT AT 48" AFF, BARD 8403-060
	STAND ALONE ESENSE SE-0010 WITH ALARM
	POWERPACK FOR CONTROLLED RECEPTACLE CIRCUIT CIRCUIT NUMBER ADJACENT TO PACK

GENERAL

1. ALL DIMENSIONS ARE IN INCHES FROM FINISH FLOOR TO CENTER OF BOX UNLESS NOTED OTHERWISE

2. DEFINITIONS: U.N.O. - UNLESS NOTED OTHERWISE
AFF - ABOVE FINISH FLOOR

3. ITALICS INDICATE WORK DONE ON SITE

ELECTRICAL

1. BUILDING TO BE WIRED IN MC, EMT, OR FLEX

2. TYPICAL WIRE SIZES:
15 AMP - #14 CU 30 AMP - #10 CU
20 AMP - #12 CU 35 AMP - # 8 CU

3. SERVICE ENTRANCE - BY OTHERS

4. ALL RECEPTACLES TO BE INSTALLED 18" A.F.F. TO CENTER OF RECEPTACLE, UNLESS OTHERWISE SPECIFIED.

5. GROUND FAULT CIRCUIT PROTECTION REQUIRED FOR ALL RECEPTACLES IN WET AREAS.

6. ALL CONDUCTORS AND CONDUITS SHALL BE SIZED AND INSTALLED TO COMPLY WITH THE 2017 N.E.C. AND 2017 OESC

7. ELECTRICAL PANEL SUPPLIED BY SQUARE D. WHITLEY RECOMMENDS THAT SQUARE D MAIN PANEL BE USED ON SITE TO ENSURE ALL EQUIPMENT IS COMPATIBLE FOR COORDINATION.

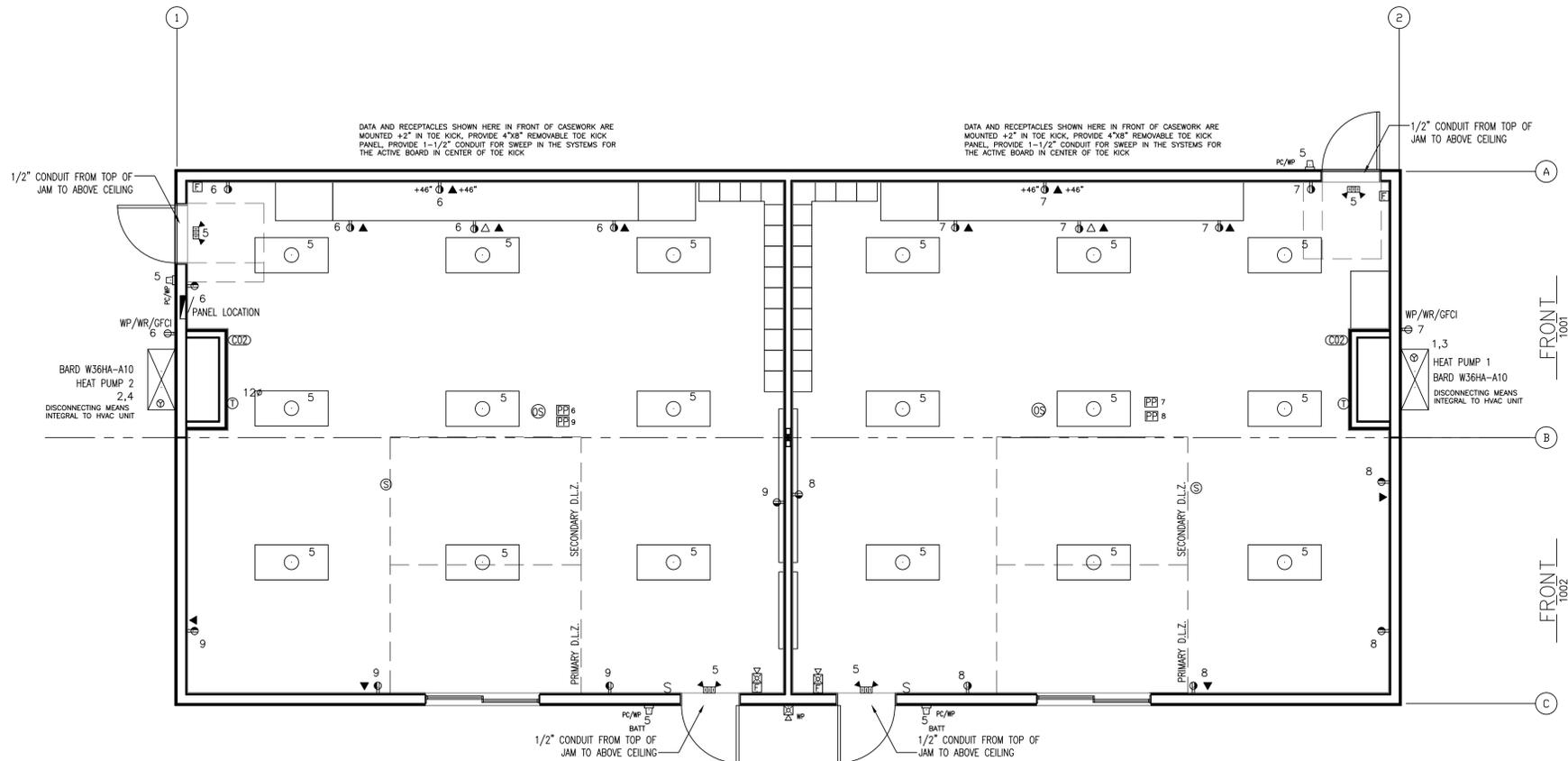
8. ALL CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH NEC 2017, WAC 296-46B AND 2017 OESC

9. ALL INDICATED WIRE SIZES BASED ON 75-DEG EQUIPMENT TERMINAL RATINGS IN ACCORDANCE WITH NEC310-15(B)(16). WHERE EQUIPMENT IS PROVIDED AT LESS THAN 75-DEGREE, CONTRACTOR SHALL PROVIDE CONDUCTOR SIZE ADJUSTED ACCORDINGLY TO REFLECT EQUIPMENT RATINGS.

10. MIN.50% OF RECEPTACLES SHALL BE CONTROLLED VIA OCCUPANCY SENSOR OR TIME CLOCK PER WSEC C405.10, ANY NON CONTROLLED RECEPT MUST BE LOCATED WITHIN 6'-0" OF A CONTROLLED RECEPT. CONTROLLED RECEPT SHALL BE MARKED WITH ENGRAVING BY RECEPT MFR, AS "CONTROLLED"

11. LIGHT FIXTURES SHALL BE EQUIPPED W/ ENHANCED LIGHTING CONTROLS PER WSEC C406.4 90% OF TOTAL INSTALLED LIGHTING POWER SHALL BE CAPABLE OF CONTINUOUS DIMMING AND BE ADDRESSABLE

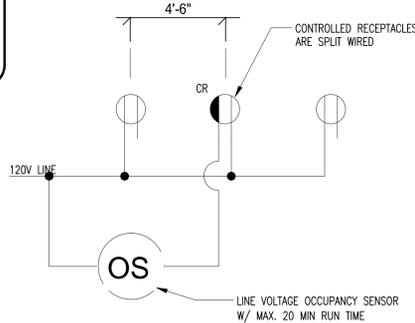
12. TOTAL LIGHTING POWER SHALL BE LESS THAN 75% OF AMOUNT CALCULATED PER TABLES C405.4.2 (1) OR C405.4.2 (2) TO MEET WSEC C406.3 REDUCED LIGHTING POWER



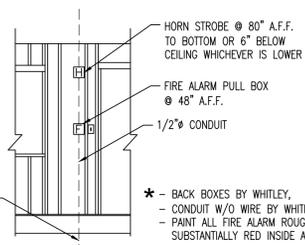
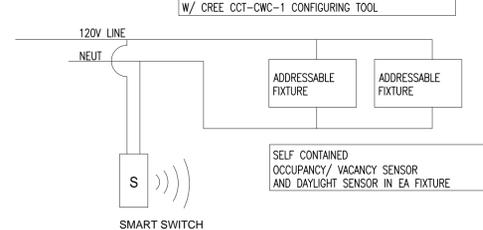
ELECTRICAL PLAN

1/4" = 1'-0"

MAX. IN SPACES OVER 200 S.F.
4'-6"



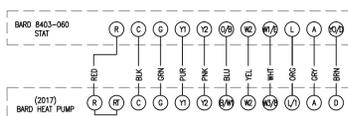
NOTE: LIGHTING CONTROLS TO BE PROGRAMMED
W/ CREE CCT-CWC-1 CONFIGURING TOOL



FIRE ALARM ROUGH IN DETAIL

SCALE: N.T.S.

USE 12 COND. T STAT WIRE, VERIFY ALL CONNECTIONS OF CONTROL WIRING, JADE CONTROLLER SETTINGS, PROPER OPERATION OF HEAT PUMP AND CONTROLS BY RUNNING SYSTEM IN COOLING AND HEATING MODES BEFORE LEAVING FACTORY. VERIFY TESTING COMPLETION BY PROVIDING WRITTEN TEST REPORT TO FACTORY Q.C. MANAGER.



LIGHTING BUDGET CALCULATIONS

MAXIMUM ALLOWED INTERIOR LIGHTING WATTAGE (SPACE BY SPACE METHOD)

SPACE TYPE	AREA	VA/SF	VA ALLOWED
CLASSROOM	1638	1.00	1638
TOTAL VA ALLOWED			1638 VA

LIGHT REDUCTION / REDUCED LIGHTING POWER (PER WSEC C406.3.1)

TOTAL VA ALLOWED x 0.75 = 0.75 x 1638 = 1228.5 VA ALLOWED PER SECTION C406 ADDITIONAL EFFICIENCY OPTIONS

PROPOSED INTERIOR LIGHTING WATTAGE:

(18) LED TROFFERS AUTO DIMMABLE @ 44.0 VA 792
TOTAL PROPOSED INTERIOR LIGHTING VA 792 VA

PERCENTAGE OF INSTALLED INTERIOR LIGHTING CONFIGURED WITH ENHANCED CONTROL FUNCTIONS (WSEC C406.4)

100% / 18 LIGHTS = 5.56% PER LIGHT, 18 LITS W/ ENHANCED CONTROLS. X 5.56 = 100%

MAXIMUM ALLOWED EXTERIOR TRADABLE LIGHTING WATTAGE:

TRADABLE SURFACE	WATTS/LF	LF	VA ALLOWED
MAIN ENTRY	30	3	90
OTHER ENTRY	20	9	180
BASIC SITE ALLOWANCE ZONE 3			250
TOTAL VA ALLOWED			1020
PROPOSED EXTERIOR LIGHTING WATTAGE:			
(4) WALL MOUNT FLUORESCENT FIXTURES @ 26VA			104
TOTAL PROPOSED LIGHTING VA			104

POWER RISER DIAGRAM

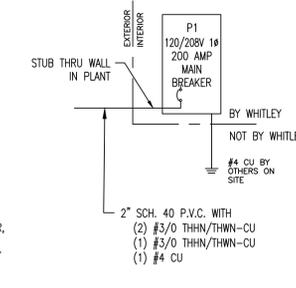
NOTES:
MODULAR MANUFACTURER SHALL INSTALL ELECTRICAL PANEL THAT IS SERVICE ENTRANCE RATED

OWNER TO PROVIDE CALCULATED OR ACTUAL AIC FAULT CURRENT RATING AT ELECTRICAL PANELS, BEFORE FINAL ENGINEERING.

MANUFACTURER ASSUMES TO BE 10kAIC UNLESS ADVISED OTHERWISE

GROUNDING ELECTRODE CONDUCTOR SIZED PER NEC TABLE 250.66

SERVICE ENTRANCE GROUNDING CONDUCTOR, CONDUIT TO BUILDING P.O.C., METER, AND TRANSFORMER (IF REQUIRED) INSTALLED BY OTHERS ON SITE. UNDER SEPARATE LOCAL PERMIT.



PANEL P1

VOLTAGE (L-N):	120	ENCLOSURE TYPE:	NEMA 1
VOLTAGE (L-L):	208	MOUNTING:	RECESSED
PHASES, WIRES:	1 Φ, 3 W	AIC RATING:	10000
MINIMUM BUS CAPACITY (A):	200 A	NOTES:	---
MAIN O.C. DEVICE (A):	200 A		

CKT NO	DESCRIPTION	TRIP AMPS	POLE	PHASE LOADS (VA)				POLE	TRIP AMPS	DESCRIPTION	CKT NO
				A	B	C	NEUTRAL				
1,3	HEAT PUMP 1	90	2	7257	7257			2	90	HEAT PUMP 2	2,4
1,3	HEAT PUMP 1	90	2		7257	7257		2	90	HEAT PUMP 2	2,4
5	LIGHTS: INT, EXT	20	1	936	1260			1	20	RECEPTACLES	6
7	RECEPTACLES	20	1			1080	900	1	20	RECEPTACLES	8
9	RECEPTACLES	20	1	720	0			1	0	SPACE	10
11	SPACE	0	1			0	0	1	0	SPACE	12
13	SPACE	0	1			0	0	1	0	SPACE	14
15	SPACE	0	1			0	0	1	0	SPACE	16
17	SPACE	0	1			0	0	1	0	SPACE	18
19	SPACE	0	1			0	0	1	0	SPACE	20
				CONNECTED LOAD PHASE TOTALS (VA)							
				17430		16494					

	CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD (KVA)	DEMAND LOAD SPARE CAPACITY	35.1KVA
Equipment	0.0	1.00	0.0	SPARE CAPACITY	6.5 KVA
Lighting	0.9	1.25	1.2	SPARE CAPACITY	31.3 AMPS
Motors	5.3	1.00	5.3	SPARE CAPACITY	16 %
Motors (Largest)	3.7	1.25	4.7		
Receptacles (0 - 10 KVA)	4.0	1.00	4.0		
Elec Heating	20.0	1.00	20.0		
TOTAL:	33.9		35.1		
LOAD (AMPS):	163.1		168.7		

DATE	REVISION	MARK

DATE	REVISION	MARK

RELEASE LEVEL: FINAL	###	###	###
DRAWN BY: MDP			
REV BY: ###			
CHK BY: ###			

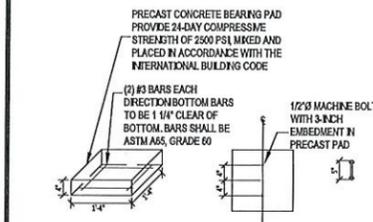
JOB NAME: RIVERVIEW SD	DESCRIPTION: 28X64 CLASSROOM	SHEET TITLE: ELECTRICAL PLAN	SIN: 0318-168
DATE: ---	DATE: ---	DATE: ---	DATE: ---

WHITLEY EVERGREEN INC.
mobile and modular buildings
1429 SMOKEY POINT BLVD. MARYSVILLE, WA 98271
PHONE: (800) 653-6799 FAX: (800) 659-7735

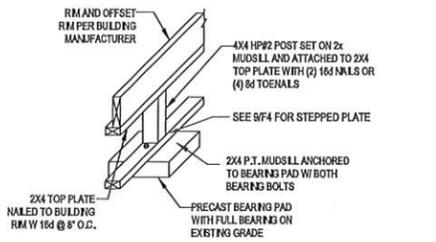


THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF WHITLEY EVERGREEN INC. AND IS NOT TO BE REPRODUCED WITHOUT THE EXPRESS PERMISSION OF WHITLEY EVERGREEN CO. INC.

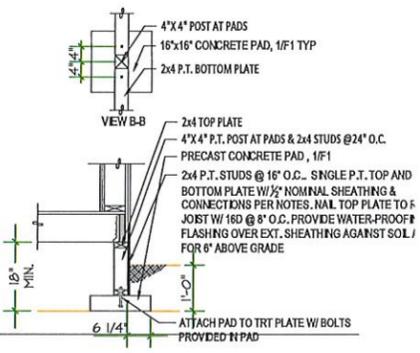
JOB NO: 4397
SHT: E-1.0
DATE: ---



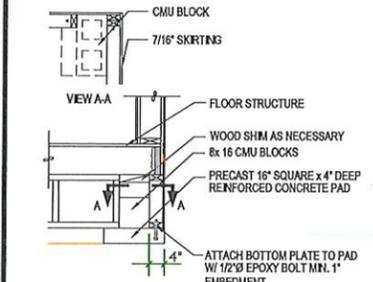
1 PERIMETER BEARING PAD
Scale: 1/2" = 1'-0"



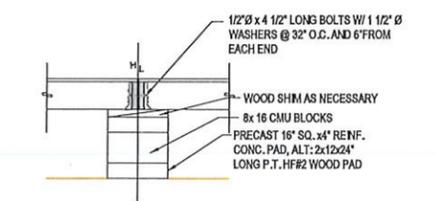
2 PERIMETER SUPPORT
Scale: 1/2" = 1'-0"



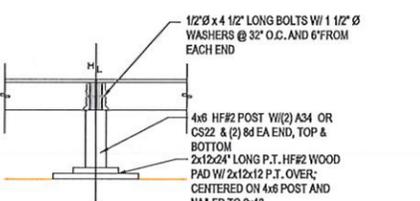
3 M/L RIM JOIST SUPPORT OPTIONS
Scale: 1/2" = 1'-0"



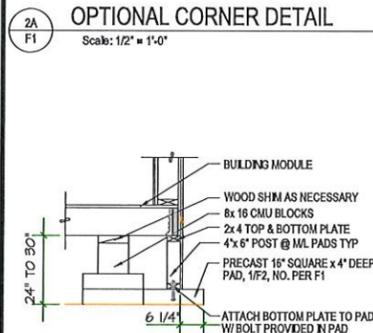
2A OPTIONAL CORNER DETAIL
Scale: 1/2" = 1'-0"



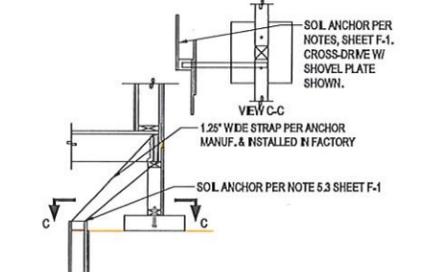
3 M/L RIM JOIST SUPPORT OPTIONS
Scale: 1/2" = 1'-0"



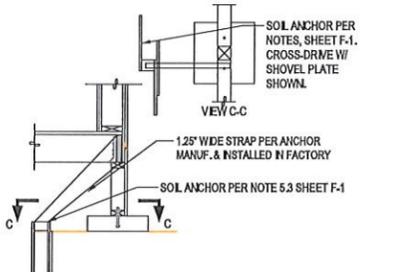
3A ANCHOR DETAIL
Scale: 3/8" = 1'-0"



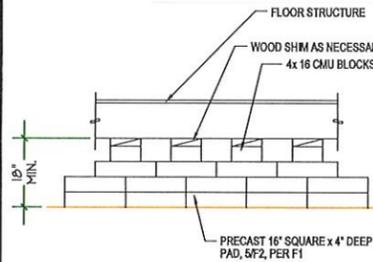
4 EXTERIOR MATELINE COLUMN
Scale: 1/2" = 1'-0"



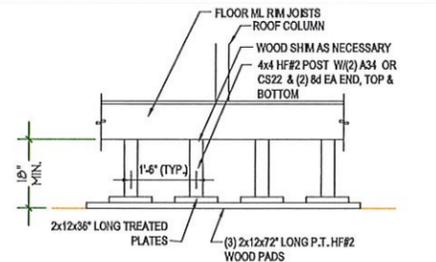
5 ANCHOR DETAIL
Scale: 3/8" = 1'-0"



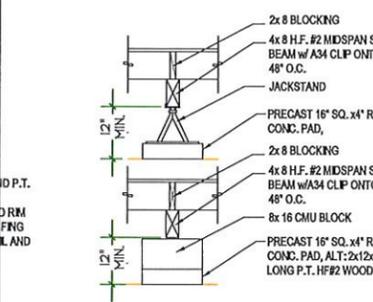
5A ANCHOR DETAIL
Scale: 3/8" = 1'-0"



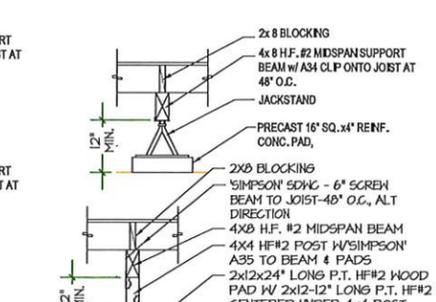
6 INTERIOR MATELINE COLUMN SUPPORT OPTIONS
Scale: 1/2" = 1'-0"



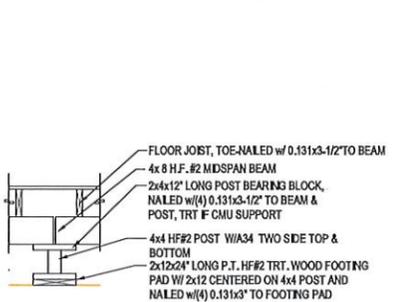
6 INTERIOR MATELINE COLUMN SUPPORT OPTIONS
Scale: 1/2" = 1'-0"



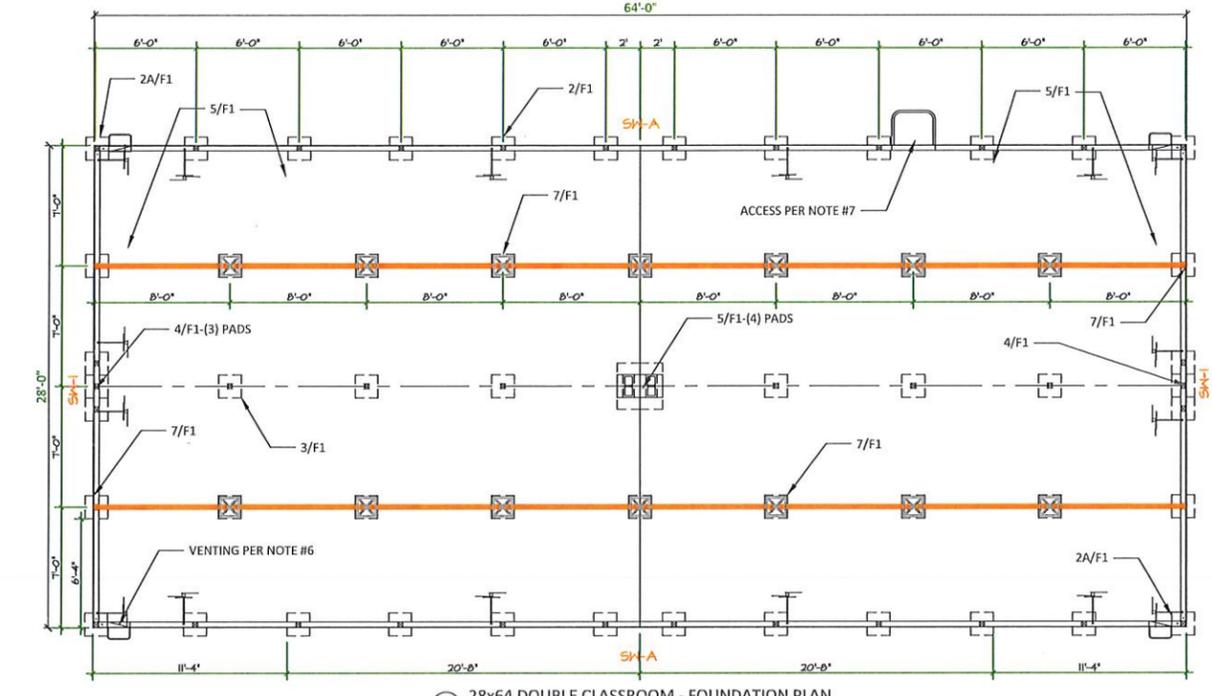
7 MID-SPAN BEAM SUPPORT OPTIONS
Scale: 1/2" = 1'-0"



7 MID-SPAN BEAM SUPPORT OPTIONS
Scale: 1/2" = 1'-0"



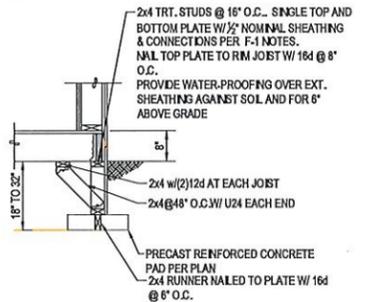
7A MID-SPAN BEAM SPLICE
Scale: 1/2" = 1'-0"



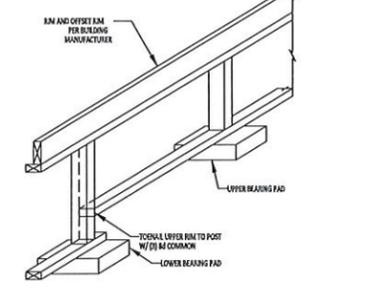
A 28x64 DOUBLE CLASSROOM - FOUNDATION PLAN
Scale: 3/16" = 1'-0"

STRUCTURAL NOTES: CLASSROOM-MODULAR

- DESIGN INFORMATION & LOADING:
 - BUILDING CODE: IBC, 2015 EDITION
 - ROOF LIVE LOAD: 25 PSF, SNOW
 - FLOOR LIVE LOAD: 40 PSF OR 1,000# CONC. 110 MPH, EXP B, R₁=1.0
 - WIND CRITERION: SDS-0.275, CATEGORY, D
 - SEISMIC CRITERION: 1,500 PSF, CLASS D
 - ASSUMED SOIL BEARING: 2,500 PSI
 - REINFORCING YIELD: 60 KSI
- CONCRETE:
 - COMPRESSIVE STRENGTH: 2,500 PSI
 - REINFORCING YIELD: 60 KSI
- MASONRY:
 - 8x16x8 UNITS: ASTM C-90, GRADE N
 - SET UNITS W/ CORES VERTICAL & NO MORE THAN 3 HIGH, PER PLAN
- WOOD:
 - ALL WOOD MEMBERS OF THE FOUNDATION SYSTEM SHALL BE SPF-STD OR BETTER.
 - ALL WOOD IN CONTACT WITH SOIL SHALL BE PRESSURE TREATED WITH CONNECTORS MEETING CODE.
- SPECIALTY ITEMS:
 - SPECIALTY ITEMS TO BE "MINUTE MAN ANCHORS, INC." 305 W. KING ST., E. FLAT ROCK, NC 28726 OR EQUIVALENT. ITEM MODEL # SHALL BE AS DESIGNATED OR APPROVED EQUAL.
 - METAL PIERS TO BE CAPABLE OF SUPPORTING 6,000#
 - SOIL ANCHORS:
 - PAVEMENT: DRIVEN ANCHOR W/ STABILIZER PLATE ("AZTEK OR MMA-35 W/MMSD2);
 - SOIL: AUGER-TYPE SET VERTICAL W/ STABILIZER CAP (MMA-92) WITH ULTIMATE DESIGN LOAD OF 4750#
 - INSTALL GROUND PORTION OF THE ANCHOR PRIOR TO SETTING THE BUILDING.
 - CONNECT ANCHOR TIES TO BUILDING ONLY AFTER BUILDING IS FULLY BLOCKED AND LEVELED.
 - INSTALL ALL SPECIALTY ITEMS PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- VENTILING:
 - PROVIDE UNDER FLOOR VENTILATION PER IBC CODE AND LOCAL REQUIREMENTS AT 1 NET SF OF VENTILATION PER 150 SF OF FLOOR AREA. SEE CALCULATIONS THIS SHEET
 - IF A CLASS 1 VAPOR RETARDER IS INSTALLED THE RATIO MAY BE INCREASED TO 1/2_{req} IF ACCEPTABLE TO THE LOCAL BUILDING OFFICIAL.
- ACCESS:
 - PROVIDE ACCESS TO THE UNDER FLOOR AREA PER THE CODE.
 - PROVIDE 18" MIN. CLEARANCE FROM SOIL TO UNDERSIDE OF ANY UNTREATED WOOD MEMBER.
 - PROVIDE 12" MIN. CLEARANCE UNDER FROM SOIL TO UNDERSIDE OF ALL BUILDING MEMBERS.
- SITE CONDITIONS:
 - FOUNDATION SUBGRADE TO BE A MINIMUM OF 4" OF COMPACTED ROAD-MIX GRAVEL OVER STABLE UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL, COMPACTED TO 95% OF THE STANDARD PROCTOR DENSITY PER ASTM D-698.
 - SLOPE FINISHED GRADE AWAY FROM THE BUILDING FOUNDATION AT A MIN. GRADE OF 2%.
- FOUNDATION SHEAR WALL:
 - ALL LUMBER AND SHEATHING SHALL BE PRESSURE TREATED FOR EXPOSURE.
 - ALL CONNECTORS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
 - SHEATHING: 3/4" or 1/2" PLYWOOD (PS-1); 3/8" OR 1/2" OSB (PS-2)
 - FRAMING: HF-STUD, 16" O.C., PRESSURE TREATED FOR EXPOSURE
 - BOTTOM PLATE: ATTACH BOTTOM PLATE TO CONCRETE PADS W/ BOLTS PROVIDED.
 - SHEAR NAILING: LAP SHEATHING OVER FLOOR RIM JOISTS, STUDS & BOTTOM PLATE. SHEAR NAIL SHEATHING AS INDICATED BELOW:
 - SW-1: 8d @ 4" O.C. EDGES & 12" O.C. FIELD
 - SW-A: 8d @ 6" O.C. EDGES & 12" O.C. FIELD



8 FROST RESISTANT FDN WALL
Scale: 1/2" = 1'-0"



9 STEPPED BOTTOM PLATE
Scale: 1/2" = 1'-0"

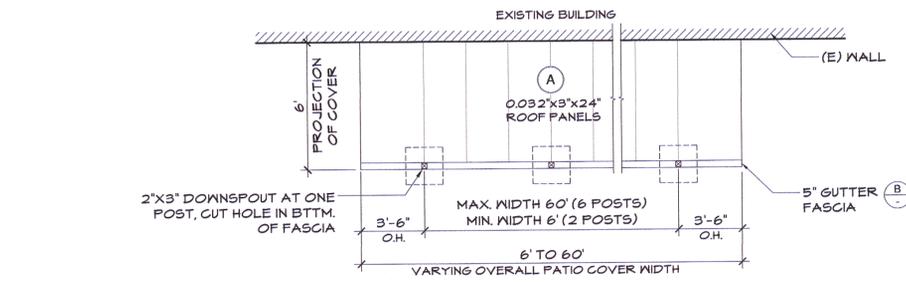
Aries Building SYSTEMS



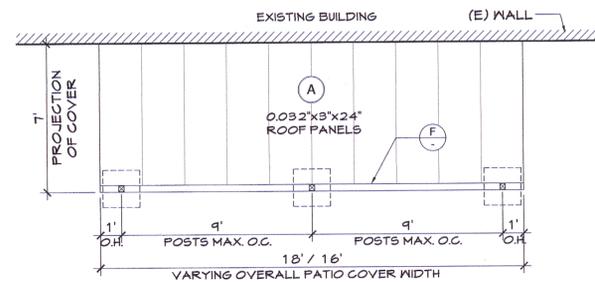
DEAN W. BRIGGS, PE
BRIGGS
SERVING THE WESTERN UNITED STATES
PO BOX 140537, GARDNER CITY, ID 83714 - (208) 873-0000

RIVERVIEW SCHOOL DISTRICT
STILLWATER ELEMENTARY SCHOOL
11530 320TH AVE N.E., CARNATION, WA 98014
28X64 MODULAR CLASSROOM - SW FOUNDATION PLAN/NOTES/DETAILS
SCALE: AS SHOWN
DWG NO.: 201807.05.1-1-F1
DWG DATE: JUNE 2018

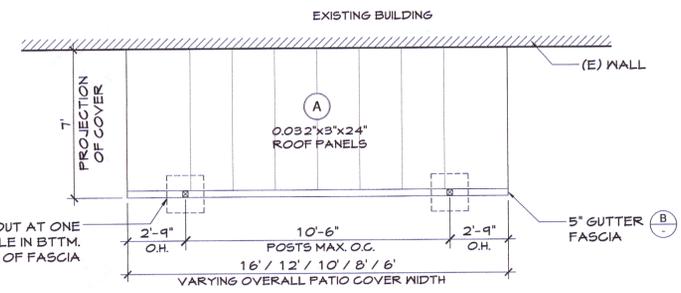
REVISION DATE: 06/07/2018
F1
SHEET: 1 OF 1
STEVE YANTZER



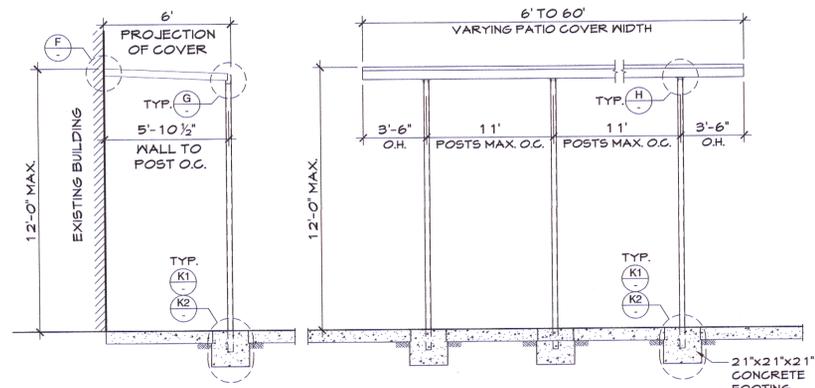
LAYOUT PLAN - 4
SCALE: 1/4" = 1'-0"



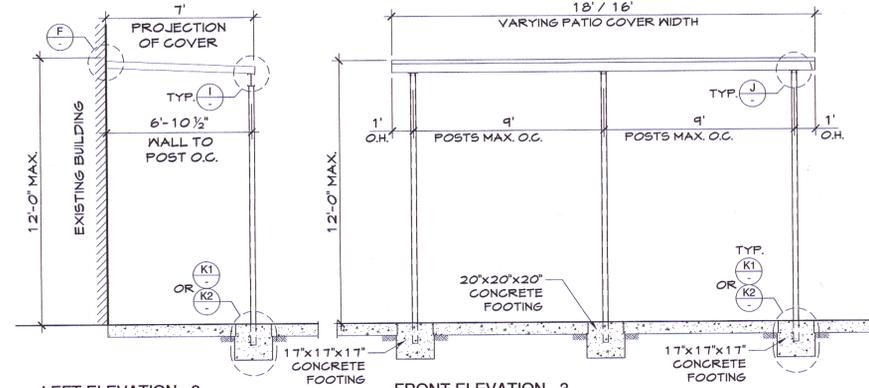
LAYOUT PLAN - 3
SCALE: 1/4" = 1'-0"



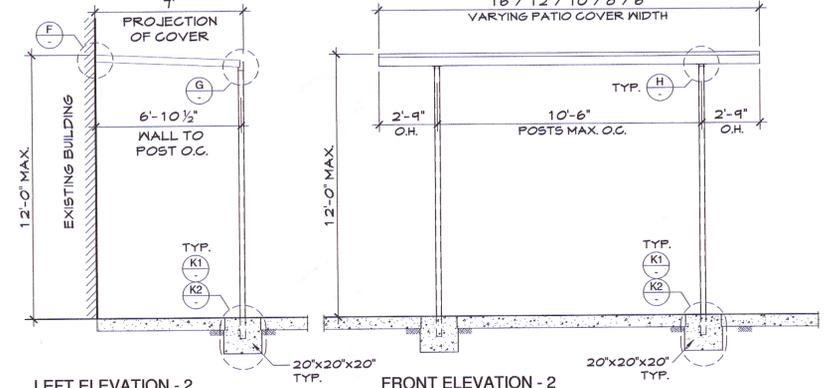
LAYOUT PLAN - 2
SCALE: 1/4" = 1'-0"



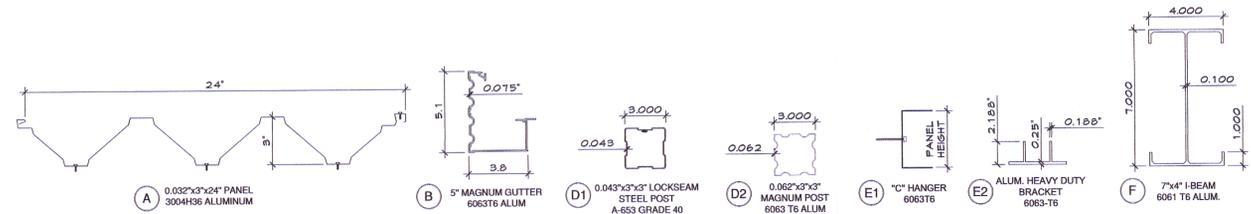
LEFT ELEVATION - 4 SCALE: 1/4" = 1'-0"
FRONT ELEVATION - 4 SCALE: 1/4" = 1'-0"



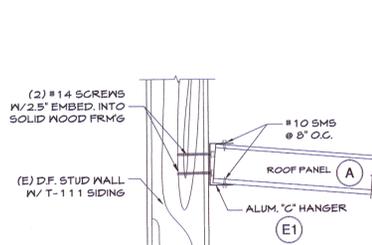
LEFT ELEVATION - 3 SCALE: 1/4" = 1'-0"
FRONT ELEVATION - 3 SCALE: 1/4" = 1'-0"



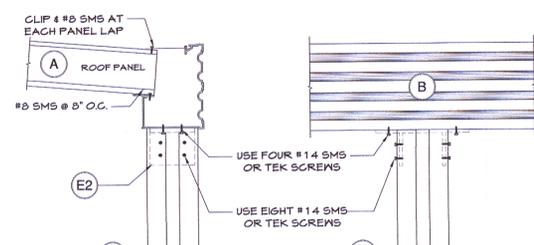
LEFT ELEVATION - 2 SCALE: 1/4" = 1'-0"
FRONT ELEVATION - 2 SCALE: 1/4" = 1'-0"



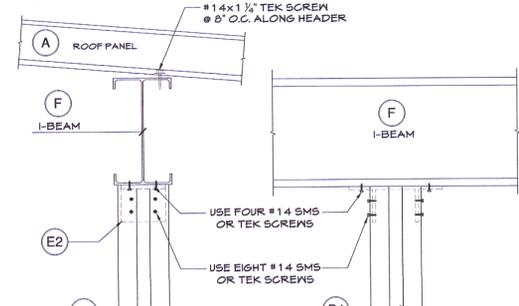
COMPONENTS



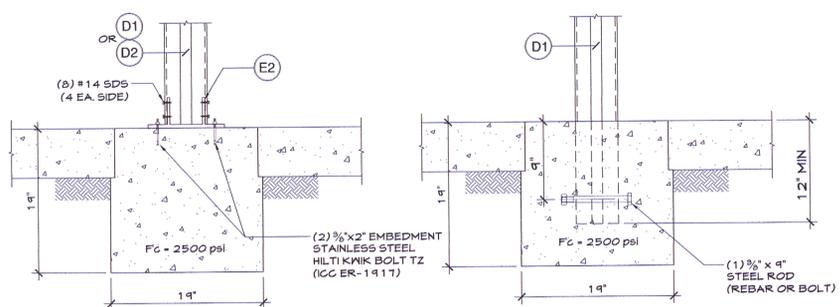
F ROOF PANEL TO WALL
SCALE: N.T.S.



G COLUMN DETAIL SCALE: N.T.S.
H COLUMN DETAIL SCALE: N.T.S.

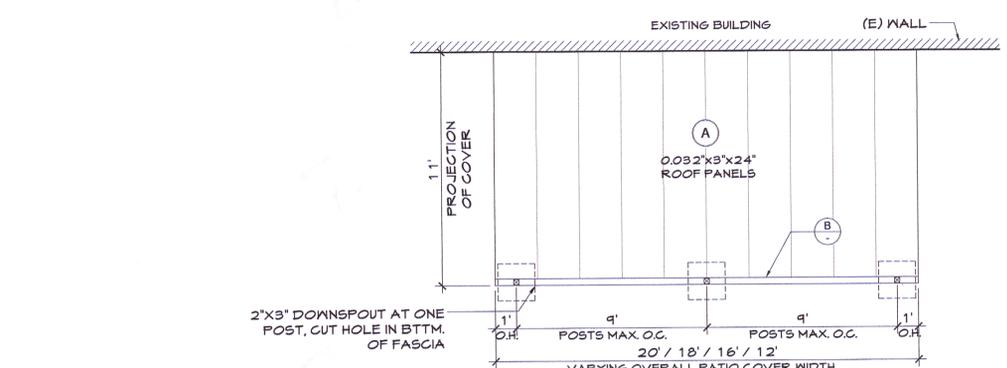


I COLUMN DETAIL SCALE: N.T.S.
J COLUMN DETAIL SCALE: N.T.S.

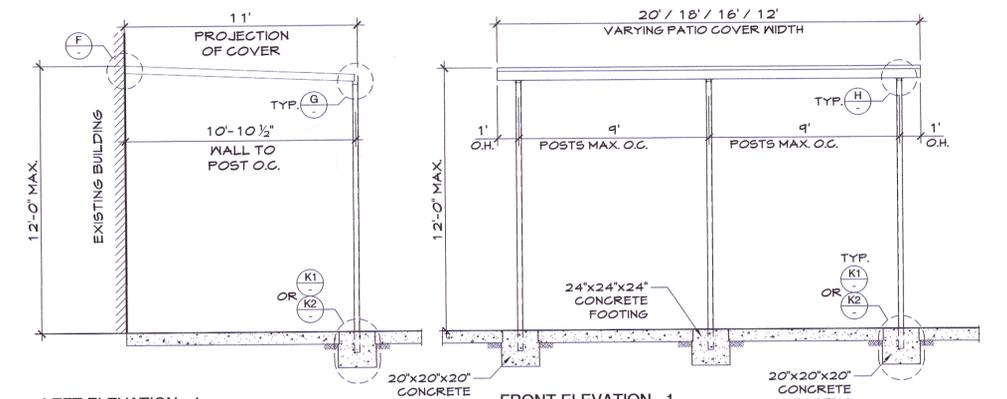


K1 SURFACE MOUNT POST SCALE: N.T.S.
K2 EMBEDDED POST SCALE: N.T.S.

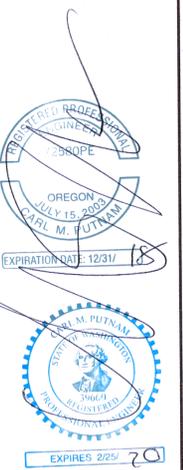
GENERAL NOTES:
 -DESIGN PER 2015 IBC
 -OCCUPANCY: RISK CATEGORY II BLDG.
 -GROUND SNOW LOAD: 25 PSF
 -ROOF SNOW LOAD: 25 PSF
 -WIND SPEED: 115 MPH
 -EXPOSURE: C
 -ALL CONCRETE TO BE $f_c = 2500$ psi
 -ALL FASTENERS TO BE GALVANIZED OR STAINLESS STEEL.



LAYOUT PLAN - 1
SCALE: 1/4" = 1'-0"



LEFT ELEVATION - 1 SCALE: 1/4" = 1'-0"
FRONT ELEVATION - 1 SCALE: 1/4" = 1'-0"



APR 04 2018

RESERVED FOR ENGINEER SEAL		
NUMBER OF RECORD: CARL PUTNAM, P.E. 3441 RYLINK PLACE LYNCHBURG, VIRGINIA carlputnam@comcast.net		
GENERAL NOTES		
NO.	REVISION/NOTE	DATE
FOUR SEASONS BUILDING PRODUCTS 5005 VETERANS MEMORIAL HWY. HOLBROOK, NY 11741 (813) 563-4000		
LOCAL SERVICE CENTER: SEATTLE SRVC. CENTER 7851 S. 190th ST. KENT, WA 98032 (800) 231-3567		
FIRM NAME AND ADDRESS: EXTERIORS WEST		
PROJECT NAME AND ADDRESS		
DATE: 1/28/2017	SHEET: -	
SCALE: AS NOTED		

ALUMINUM MODULAR RAMP & STAIR SYSTEM CONFIGURATION OPTIONS



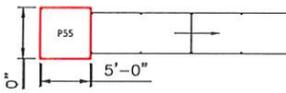
Welcome Ramp Systems, Inc.
 Component Aluminum Ramp System for
 Safe, User-Friendly Building Access.
www.welcomerampsystems.com

TYPICAL COMPONENT SIZES

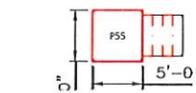
- LANDINGS: 5'x5', 5'x6' OR 7'x7'; CAN BE BOLTED TOGETHER FOR LARGER PLATFORMS
- RAMP: 4', 8' OR 10' LONG x 48" WIDE; CAN BE BOLTED TOGETHER TO FORM A MAXIMUM 30' RAMP RUN
- STAIRS: MAX. 6'-7" RISE x 12" TREAD x 48" WIDE

NOTE: WHERE DOOR CLEARANCE ALLOWS, STAIRS CAN BE ADDED TO ANY/ALL OF THE CONFIGURATIONS SHOWN BELOW.

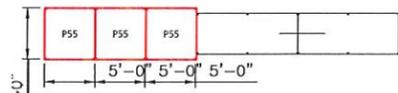
A TYPICAL SINGLE DOOR CONFIGURATION



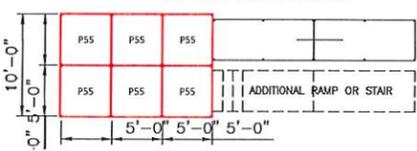
B TYPICAL SINGLE DOOR CONFIGURATION



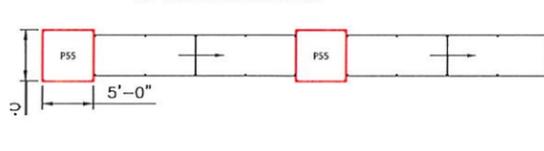
C TYPICAL DOUBLE DOOR CONFIGURATION



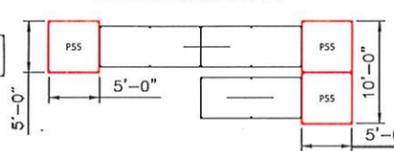
D TYPICAL TWO-BUILDING COMMON LANDING CONFIGURATION



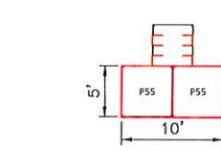
E TYPICAL INTERMEDIATE LANDING CONFIGURATION



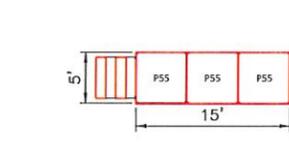
F TYPICAL SWITCHBACK CONFIGURATION



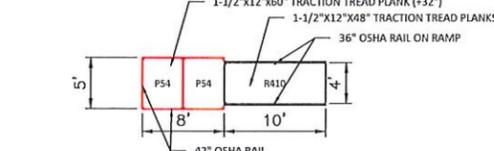
G DOUBLE DOOR EXIT 1/8" = 1'-0"



H ALTERNATE DOUBLE DOOR EXIT 1/8" = 1'-0"



I DUMPSTER RAMP 1/8" = 1'-0"



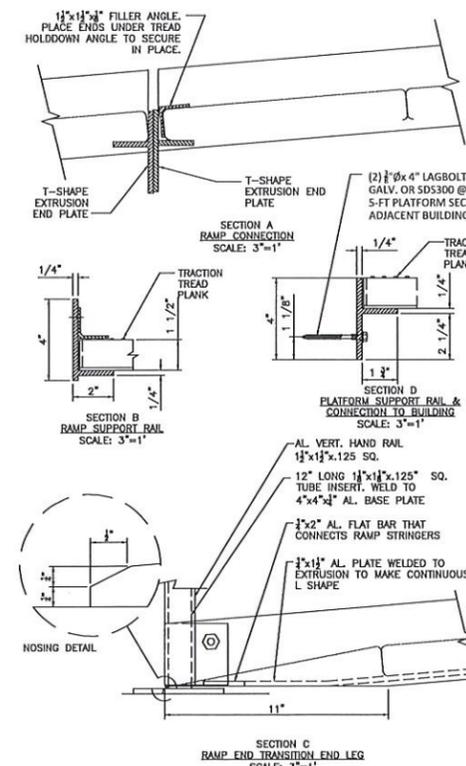
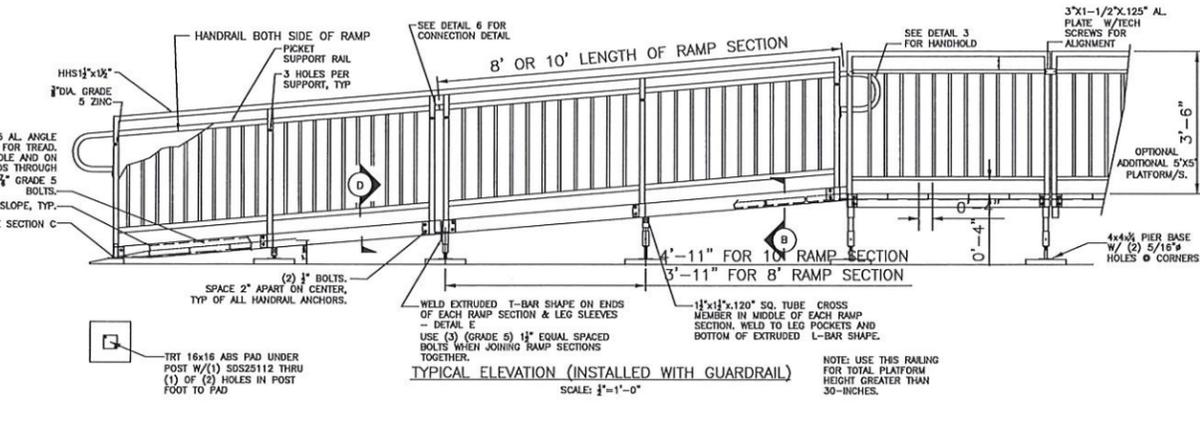
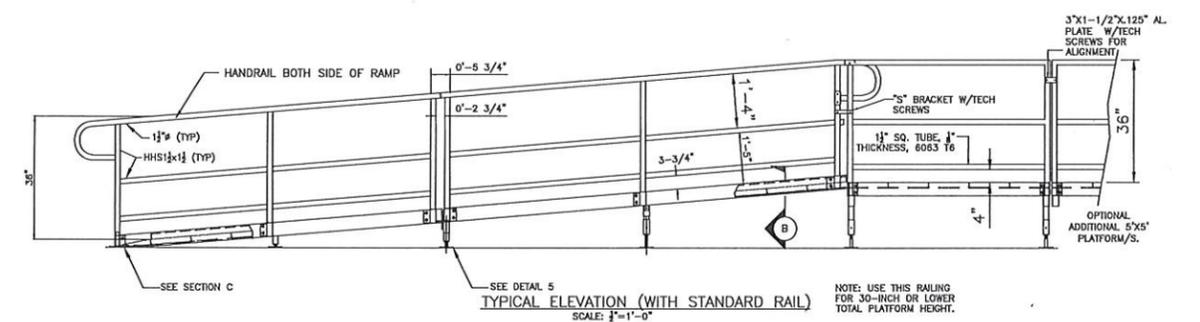
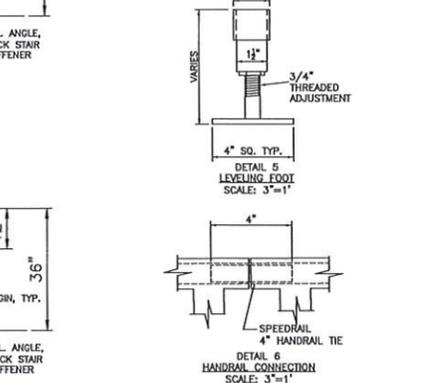
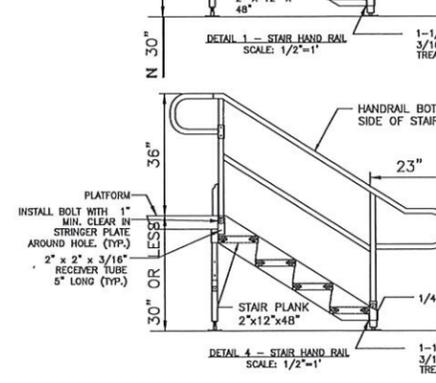
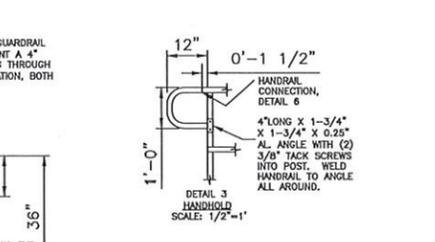
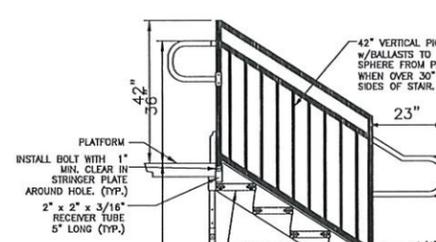
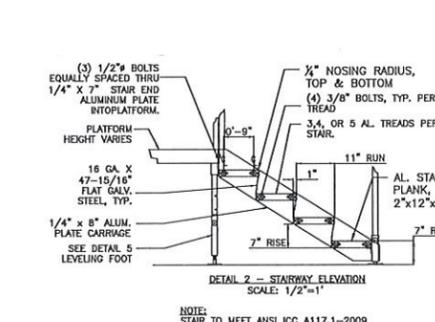
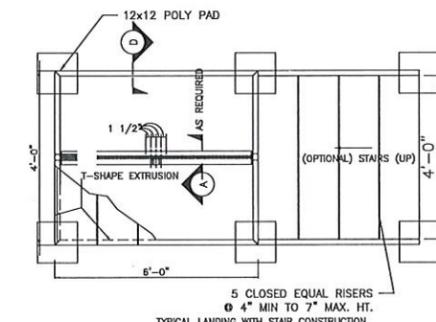
J CUSTOM CONFIGURATION 1/8" = 1'-0"

CODE COMPLIANCE

- IBC 2015, CHAPTER 10 COMPLIANT
- ANSI A117.1-2009 COMPLIANT
- RAMP SLOPE, MAX. RISE = 1:12 (VERT/HORIZ)
- CROSS SLOPE, MAX. = 2%
- STAIR RISE = 7" MAX., 4" MIN.
- DESIGN LOADING:
 - 6.1. DECK/RAMP 100 PSF
 - 6.2. STAIR TREAD 300 LBS./TREAD
 - 6.3. RAILING 50 PLF/200 LBS. CONC.
 - 6.4. LATERAL LOAD 600# PEDESTRIAN DYNAMIC LOADING PER 30'-FT RAMP
 - 6.5. WIND LOAD 135 MPH, EXP. C, Kz=2.0
 - 6.6. SEISMIC LOAD Sd=1.0, SEISMIC CAT. 'D'
- DOOR CLEARANCE AS REQUIRED BY IBC.
- STANDARD 3 LINE RAIL FOR COMPONENTS 30" OR LESS FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- 42" VERTICAL PICKET GUARDRAIL FOR COMPONENTS OVER 30" FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- GRASPABLE CONTINUOUS HANDRAIL AT 36" OFF RAMP, PLATFORM, OR STAIR NOSING. INSTALL BOTH SIDES OF STAIRS AND RAMP.
- HANDRAILS TO EXTEND 12" HORIZONTALLY OVER WALKING SURFACE AND RETURN TO WALL OR RAIL COLUMN.
- RAMP AND RAILINGS TO HAVE CURBS WHICH DO NOT ALLOW PASSAGE OF 4" SPHERE WHERE ORIGINAL POSITION OF SPHERE IS WITHIN 4" OF THE WALKING SURFACE.
- FOOTING INFORMATION:
 - 12"x12"x1-1/2" P.T. WOOD OR 12"x12" PRE-MANUFACTURED ABS PAD REQUIRED UNDER ALL ADJUSTABLE LEGS.

GENERAL NOTES:

- THESE PLANS AND SPECIFICATIONS ARE NOT VALID FOR ANY OTHER ASSEMBLY THAN PRODUCTS PRODUCED BY WELCOME RAMP SYSTEMS, INC. PRODUCTS PRODUCED THE STANDARDS SET FORTH IN THESE DRAWINGS AND ACCOMPANYING DESIGN.
 - THE RAMP SYSTEM, STAIRS AND PLATFORM HAVE BEEN DESIGNED TO MEET IBC REQUIREMENTS. THE VERTICAL DESIGN LOADING CRITERIA IS 100 PSF UNIFORM LINE LOAD AND 300# LIVE OR DEAD CONCENTRATED LOAD. USES FOR LOADS IN EXCESS OF THOSE STATED ABOVE REQUIRE REDESIGN BY WELCOME RAMP SYSTEMS, INC.
 - RAMP DESIGN LIMITS: THE SLOPE SHALL BE 1:12. THE MAXIMUM CROSS SLOPE SHALL BE LESS THAN 2%. THE MAXIMUM RUN SHALL BE 30'. THE MAXIMUM HEIGHT WITHOUT ADDITIONAL ENGINEERING JUSTIFICATION SHALL BE 48" FROM THE PLATFORM TO FINISHED GRADE.
 - WELCOME RAMP SYSTEMS, INC. STAIRS AND STAIRS ARE DESIGNED TO BE FREE STANDING. DETAILS SHOW MOST USED HEIGHTS, OTHER HEIGHTS ARE SIMILAR.
- MATERIAL SPECIFICATIONS**
- PLANKING:**
- THIS DESIGN IS LIMITED TO GS METALS PLANKING MATERIALS.
 - RAMP: ALL PLANKING SHALL BE 13 GA. 12"W x 1 1/2" DEEP.
 - PLATFORM: ALL PLANKING SHALL BE 13 GA. 12" W x 1-1/2" D. SEE PLAN FOR LENGTH.
 - STAIRS: ALL PLANKING SHALL BE 11 GA. 12"W x 2" DEEP.
- LEVELING FEET ASSUMED TO BE PLACED ON SUITABLE FIRM BEARING GROUND.**
- LEG MATERIAL SHALL BE 1-7/8" SQ. X .120" AL TUBING.**
- LEG POCKETS SHALL BE 1.781" SQ. X .125" AL TUBING.**
- ADJUSTING BOLT - 3/8" X 2-1/4" GRADE 5 CAP SCREW W/NYLON LOCK NUT, ZINC PLATED**
- ALUMINUM:**
- THE 1-1/2" AL. HANDRAIL SHALL BE 6063-T5 WITH A YIELD STRESS OF 16 KSI.
 - ALL OTHER ALUMINUM PARTS SHALL BE 6061-T6 ALUMINUM WITH A YIELD STRESS OF 35 KSI.
- HAND RAILS:**
- STAIRS AND RAMP: USE 1-1/2" SQ. X 5/32" THICK WALLED TUBING FOR POSTS AND HORIZONTAL RAILS EXCEPT THE TOP 1-1/2" ROUND HAND RAIL.
 - STANDARD HANDRAIL (W/O PICKETS) IS ALLOWED ON FINISHED PLATFORM HEIGHTS OF 30" AND LESS. ALL PLATFORM HEIGHTS ABOVE 30" SHALL USE PICKET STYLE HANDRAILS.
 - PLATFORM: USE 1-1/2" SQ. X 5/32" THICK WALLED TUBING FOR POSTS AND ALL HORIZONTAL RAILS.
 - HEIGHT: TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 36 INCHES VERTICALLY ABOVE WALKING SURFACES.
- WELDING:**
- ALL REFERENCES TO WELDING ON PLAN SET REFER TO IN-PLANT FABRICATION. NO ON-SITE WELDING IS REQUIRED.
 - FABRICATION PLANT WELDING BY WELDERS CERTIFIED BY A THIRD PARTY INSPECTOR AND IN ACCORDANCE WITH ANSI/AWS D1.2 CODE.
 - WELD SIZES ARE EQUAL OR LARGER THAN THE ELEMENT BEING WELDED.
 - WELDING IS ALL AROUND UNLESS OTHERWISE NOTED. CARE IS TAKEN TO AVOID EXCESS WARPING OF WELDED ELEMENTS.
 - FABRICATOR TO CERTIFY ASSEMBLED PART ARE PER THE DRAWINGS PER IBC 1704.2.2.
- BOLTS:**
- ALL BOLTS SHALL BE GRADE 5 ZINC PLATED, UNLESS OTHERWISE SPECIFIED. PROVIDE LOCKING WASHERS UNDER ALL NUTS AND ANCHOR BOLTS UNLESS OTHERWISE SPECIFIED.
 - HIGH STRENGTH BOLTS ARE DESIGNED AT LESS THAN 50% CAPACITY FOR ADDITIONAL FACTOR OF SAFETY AND DO NOT REQUIRE SPECIAL INSPECTION.
- TECH. SCREENS:**
- ZINC PLATED #10x1/2", SELF TAPPING.



DEAN W. BRIGGS, PE

BRIGGS ENGINEERING

SERVING THE WESTERN UNITED STATES
 PO BOX 140537, GARDEN CITY, ID 83714 • (208) 871-0200
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WELCOME RAMP SYSTEMS, INC.

STANDARD ACCESS PLANS
 DECK, RAMP & STAIRS

ACCESS RAMPS & STAIRS
 STANDARD PLANS/DETAILS/NOTES

DATE: 02/07/2016
 BY: BDB/RS
 SHEET: 1 OF 1

PROJECT NAME: STANDARD ACCESS PLANS DECK, RAMP & STAIRS
 JOB NUMBER: 2016.00.02-1
 SHEET: 1 OF 1

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